

# 2143 VIOLET STREET

2117-2147 E.VIOLET STREET; 2118-2142 E. 7TH PLACE

## MIXED-USE DEVELOPMENT ENTITLEMENT PACKAGE

LOS ANGELES, CALIFORNIA

07 MAY 2021

MODIFIED

**EXHIBIT "A"**  
 Page No. 1 of 56  
 Case No. CPC-2017-437-GPAJ-VZCJ-HD-VCU-MCUP-SPR



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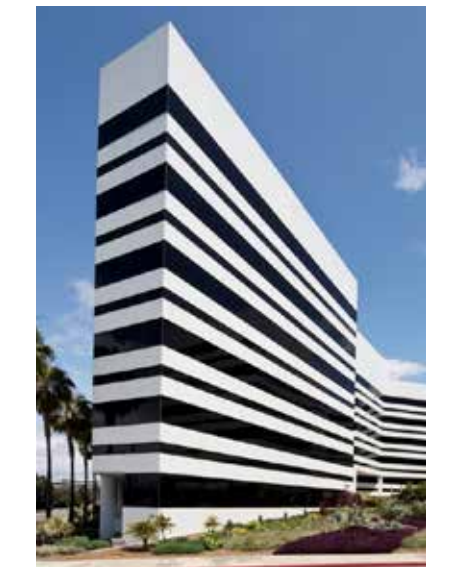
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#### SITE

CIVIC ADDRESS:  
2143 Violet Street, Los Angeles, CA, USA

LEGAL DESCRIPTION:  
Lots 1 - 16 of TRACT NO. 10054 in the County of Los Angeles, State of California.  
Assessor's Parcel Number:  
5166-003-010, 5166-003-012, 5166-003-006

#### TEAM



OWNER'S REPRESENTATIVE  
 Mr. Mark Spector, VP of Development, California  
 ONNI GROUP, 315 W 9th Street, Suite 801  
 Los Angeles, CA 90015  
 213.629.2041 mkershaw@onni.com



DESIGN ARCHITECT  
 Mr. Arno J. Matis, Arno Matis Architecture Inc.  
 204 - 1540 West 2nd Ave, Vancouver BC, V6J 1H2  
 604.708.0188 amatis@arnomatisarchitecture.com

EXECUTIVE ARCHITECT  
 MAUD Architects  
 SUITE 6 - 12411 Hiddencreek Way, Carritos, CA 90703  
 562.926.8801 info@m-aud.com

LANDSCAPE ARCHITECT  
 Loci Architects  
 604.694.0053 mlke@locidesign.ca

ENVIRONMENTAL CONSULTANT  
 Advantage Environmental Consultants  
 145 Vallecitos de Oro, Suite 201  
 San Marcos, CA 92069

SURVEYOR  
 O.K.O. Engineering  
 23671 Bircher Drive, Lake Forest, CA 92630  
 949.597.3577

DRAWN BY	CHK	INT	SCALE
			DRAWING DATE
			:2021-05-07

2143 VIOLET,  
LOS ANGELES  
CALIFORNIA

PROJECT  
**COVER SHEET &  
DRAWING LIST**

TITLE	ISSUE NO.
PROJECT NUMBER 201602	3
DRAWING NUMBER	A.101

# STATISTICS SUMMARY

## FLOOR AREA

**GROSS:** 96,523 SQ FT

**NET** (After Street Dedications): 94,946 SQ FT

## DENSITY

**PERMITTED BASE DENSITY** (1 per 200 sf): 475 units

**PROPOSED NEW DENSITY:** 347 units

**11% VERY LOW-INCOME UNITS REQ'D** (LAMC Section 11.5.11): 39 units

**5% EXTREMELY LOW-INCOME UNITS** (LAMC Section 11.5.11): 18 units

*The proposed C2-2 zone and the proposed Regional Center Commercial land use designation permits density equivalent to the R5 (Multiple Residential) zone, or 1 dwelling unit per 200 square feet of lot area. Based on the requested Zone and Height Change and General Plan Amendment, the Project Site would be permitted a maximum of 475 dwelling units. The proposed Zone and Height District Change would permit a maximum 6.0:1 FAR. With a buildable area of 94,946 square feet, a 6.0:1 FAR would permit a total of 569,448 square feet of floor area within the Project Site.*

## FLOOR AREA

**BASE** (94,946 sf x 6.00 FAR): 569,448 SQ FT

**PROPOSED FAR:** 569,448 SQ FT (6.00 FAR)

**EXISTING FLOOR AREA TO REMAIN:** 56,686 SQ FT

**NEW RESIDENTIAL FLOOR AREA\*:** 302,604 SQ FT

*\*Includes common area + amenities.*

**NEW COMMERCIAL FLOOR AREA:** 21,858 SQ FT

**NEW OFFICE FLOOR AREA\*:** 187,374 SQ FT

*\*Includes common area + amenities.*

**NEW ARTIST EXHIBITION FLOOR AREA:** 926 SQ FT

**TOTAL FLOOR AREA:** 569,448 SQ FT

## HEIGHT

30-STOREYS

360.67 FT

*Project Site is located in Height District 2, which does not specify a building height limit, but limits the FAR to maximum 6.0:1.*

## SETBACK

VIOLET STREET DEDICATION = 3'

7TH PLACE DEDICATION = 3'

ALLEY DEDICATION = 2.5'

## BICYCLE PARKING\*

### RESIDENTIAL REQUIRED

Long term = 162

Short term = 17

### COMMERCIAL REQUIRED

Long term = 48

Short term = 30

**TOTAL BICYCLE PARKING SPACES REQUIRED = 257**

**TOTAL BICYCLE PARKING SPACES PROVIDED = 257**

*Per LAMC Section 12.21 A 16, Ordinance No. 185480.*

## PARKING

### RESIDENTIAL (CENTRAL CITY PARKING EXCEPTION):

1 Bed (less than 3 habitable rooms) = 144 X 1.0 = 144

2 Bed (3 habitable rooms) = 143 X 1.25 = 179

3 Bed (more than 3 habitable rooms) = 60 X 1.25 = 75

Potential Reduction in Vehicle Space due to Bicycle Spaces = 39 spaces

**TOTAL RESIDENTIAL REQUIRED = 359 SPACES**

*Per Code requirement for Central City Area Exception. Source: City of Los Angeles Municipal Code, Section 12.21 A.4 P.*

### COMMERCIAL PARKING (ENTERPRISE ZONE):

New Commercial Floor Area 209,232 square feet = 419 spaces

Potential Reduction in Vehicle Space due to Bicycle Spaces = 19 spaces

*Per Code requirement for Enterprise Zones. Source: City of Los Angeles Municipal Code, Section 12.21 A.4(x)(3).*

Existing Floor Area to Remain 56,686 square feet = 24 spaces

*Per LADBS Building Permits and Certificate of Occupancy Records.*

**TOTAL COMMERCIAL REQUIRED = 424 SPACES**

**TOTAL PARKING REQUIRED = 783 SPACES**

**TOTAL PARKING PROVIDED = 783 SPACES**

## OPEN SPACE

### OPEN SPACE - REQUIRED:

144 units @ 100 square feet (less than 3 habitable rooms) = 14,400 SQ FT

143 units @ 125 square feet (less than 3 habitable rooms) = 17,875 SQ FT

60 units @ 175 square feet (more than 3 habitable rooms) = 10,500 SQ FT

**TOTAL REQUIRED OPEN SPACE = 42,775 SQ FT**

### OPEN SPACE - PROVIDED:

RECREATION/AMENITY ROOMS (BOTH BUILDINGS) = 10,690 SQ FT

GROUND LEVEL (PASEO) = 12,280 SQ FT

OFFICE LEVEL 8/RES. LEVEL 11 (RES. AMENITY UPPER LEVEL) = 25,321 SQ FT

PRIVATE OPEN SPACE (PRIVATE BALCONY) = 17,350 SQ FT

**TOTAL PROVIDED OPEN SPACE = 65,641 SQ FT**

### COMMON OPEN SPACE - REQUIRED:

50% of the total required usable open space = 21,388 SQ FT

**TOTAL PROVIDED COMMON OPEN SPACE = 48,291 SQ FT**

*Per LAMC Section 12.21 G.*

## LANDSCAPE

### LANDSCAPE - REQUIRED:

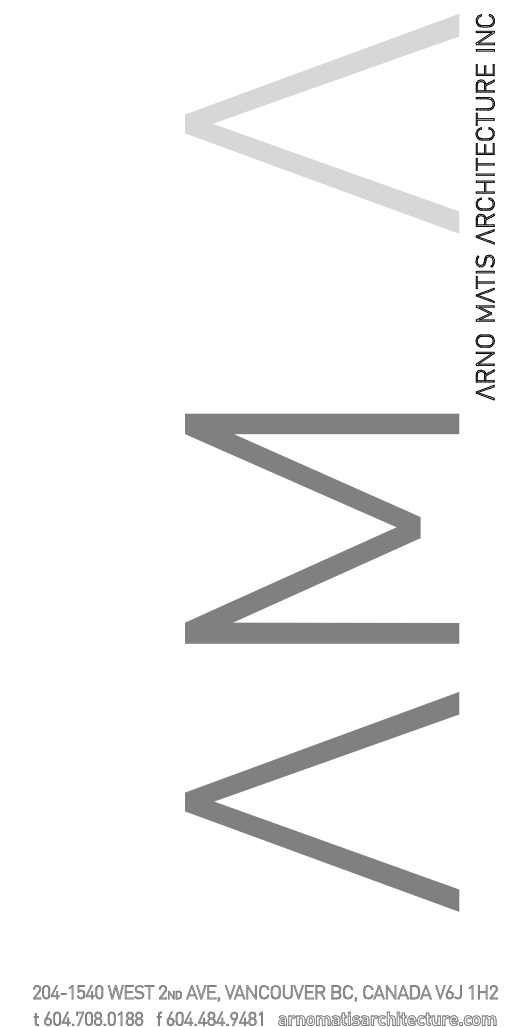
LANDSCAPING REQUIRED @ 25% of required common open space  
= 5,347 SQ FT

### LANDSCAPE - PROVIDED:

TOTAL PROVIDED LANDSCAPE = 9,217 SQ FT

*Per LAMC Section 12.21 G.*

1	ENTITLEMENT PKG. REVISION	2021-05-07
2	ENTITLEMENT PKG. REVISION	2021-05-11
3	ENTITLEMENT PKG. REVISION	2020-12-14
2	ENTITLEMENT PKG. REVISION	2020-04-07
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



204-1560 WEST 2nd AVE, VANCOUVER BC, CANADA V6J 1H2  
1 604.708.0188 F 604.454.9481 amatis@arnomatis.com

DO NOT SCALE DRAWINGS.  
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**MAUD ARCHITECTS**  
EXECUTIVE ARCHITECT  
MAUD ARCHITECTS  
SUITE G - 12811 HIDDEN CREEK WAY, CERRITOS, CA 90703  
TEL: 925.828.8801 INFO@MAUD.COM

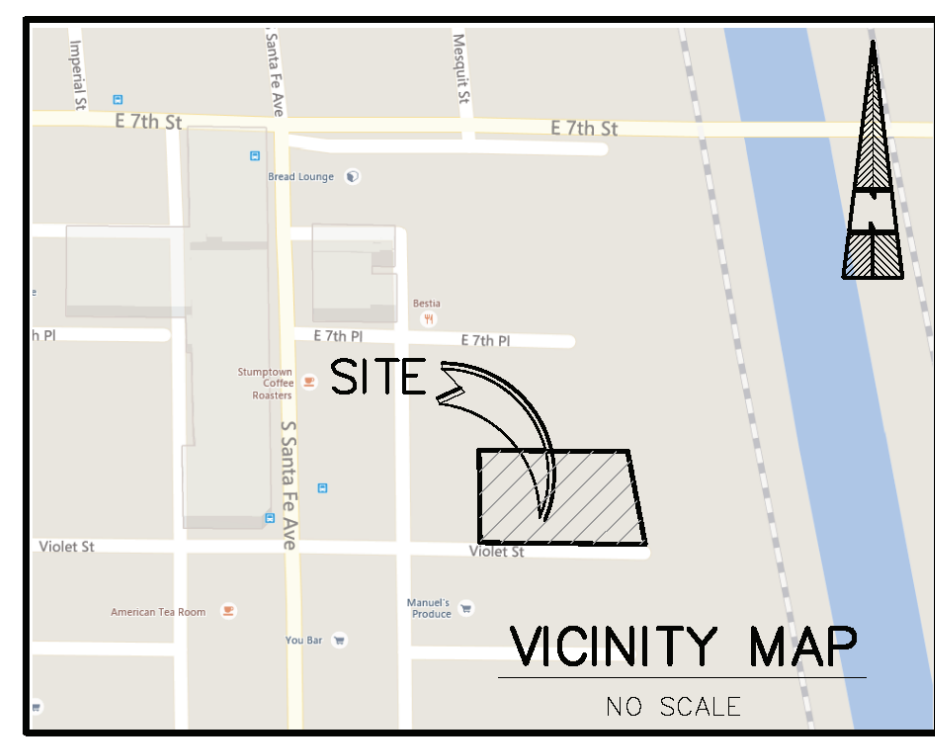
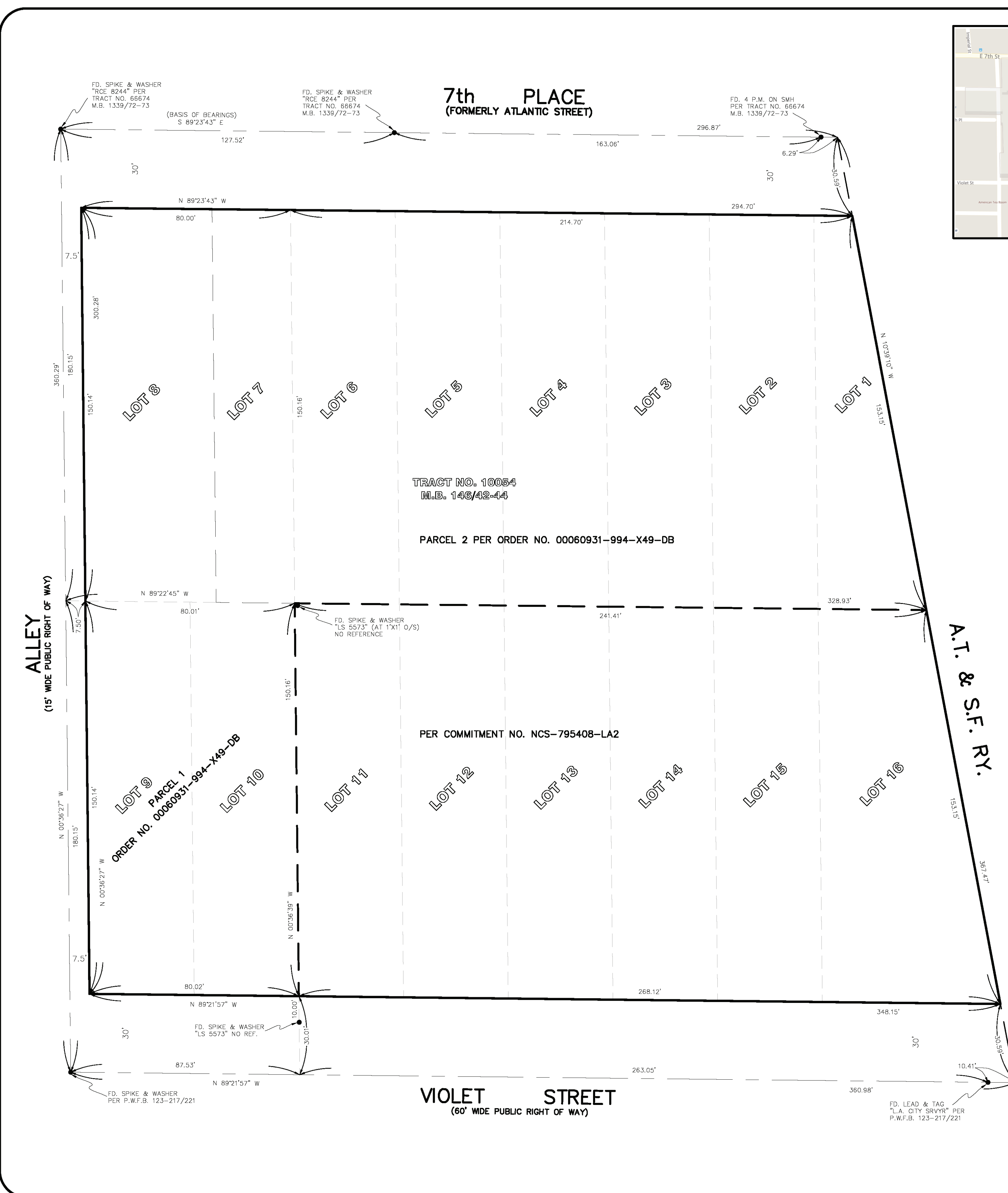
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			2021-05-07

2143 VIOLET,  
LOS ANGELES  
CALIFORNIA

PROJECT  
**STATISTICS  
SUMMARY**

TITLE	ISSUE NO
PROJECT NUMBER 201602	3
DRAWING NUMBER	A.102





**SURVEYOR'S NOTES:**

THESE WERE NO MONUMENTS FOUND OR SET AT THE PROPERTY LINE CORNERS UNLESS OTHERWISE NOTED.  
 THE INFORMATION COURSES AND DISTANCES SHOWN ON THIS SURVEY PRINT ARE TRUE AND CORRECT AND ACCURATELY REPRESENT THE BOUNDARIES AND AREA OF THE PREMISES.  
 THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON SUBJECT PROPERTY.  
 ALL MEASURED AND RECORD DIMENSIONS ARE THE SAME UNLESS NOTED OTHERWISE.  
 AT THE TIME OF SURVEY NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE OBSERVED.  
 NO RECENT CHANGES IN STREET RIGHTS-OF-WAY WERE OBSERVED AT THE TIME OF SURVEY.  
 NO VISIBLE EVIDENCE WAS OBSERVED THAT THE SITE IS BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT THE TIME OF SURVEY.  
 THIS SURVEY HAS BEEN PREPARED FOR TITLE INSURANCE PURPOSES ONLY. THIS SURVEY MAY NOT CONTAIN SUFFICIENT DETAIL FOR DESIGN PURPOSES. THE BOUNDARY DATA AND TITLE MATTERS AS SHOWN HEREON HAVE BEEN DEVELOPED FROM THE REFERENCED TITLE REPORT.  
 UNLESS THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR AND/OR ENGINEER RESPONSIBLE FOR ITS PREPARATION, THIS IS NOT AN AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE DEEMED RELIABLE.  
 NO EVIDENCE OF POTENTIAL WETLANDS WERE OBSERVED ON THE SUBJECT PROPERTY AT THE TIME THE SURVEY WAS CONDUCTED, NOR HAVE WE RECEIVED ANY DOCUMENTATION OF ANY WETLANDS BEING LOCATED ON THE SUBJECT PROPERTY.  
 THERE ARE NO PLOTTABLE OFFSITE EASEMENTS OR SERVITUDES DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR AS PART OF THE SURVEY PURSUANT TO SECTIONS 5 AND 6.

**SITE RESTRICTIONS:**

THE SURVEYOR WAS NOT PROVIDED WITH ZONING INFORMATION PURSUANT TO TABLE A ITEM NO. 6.(9).

**FLOOD NOTE:**

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 060137-1636-F, WHICH BEARS AN EFFECTIVE DATE OF 9-26-08 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

**UTILITY NOTE:**

BASED ON VISUAL OBSERVATION, THE SUBJECT SITE IS SERVICED BY ALL THE NECESSARY UTILITIES REQUIRED TO MAINTAIN NORMAL OPERATION.

**BASIS OF BEARINGS:**

THE BEARING SOUTH 89°23'43" EAST BEING THE CENTERLINE OF 7th STREET AS SHOWN ON TRACT NO. 86674, FILED IN BOOK 1339, PAGES 72 AND 73 OF MAPS IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**STATEMENT OF ENCROACHMENTS:**

\* THIS IS A LISTING OF OBSERVED IMPROVEMENTS THAT CROSS PROPERTY LINES. STATEMENT OF OWNERSHIP OR POSSESSION IS NOT THE INTENT OF THIS LISTING. SEE SHEET 2 OF 2 FOR STATEMENT OF ENCROACHMENTS.

**PARKING STALLS:**

- 42 STANDARD STALLS
- 1 HANDICAP STALL
- 43 TOTAL PARKING STALLS

**LAND AREA:**

96,523 SQUARE FEET  
 2.216 ACRES



**LEGAL DESCRIPTION:**

**PER ORDER NO. 00060931-994-X49-DB**  
 THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

**PARCEL 1:**  
 LOTS 8, 9 AND 10 OF TRACT NO. 10054, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 146 PAGES 42 TO 44 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**PARCEL 2:**  
 LOTS 1 TO 7 INCLUSIVE OF TRACT NO. 10054, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 146 PAGES 42 TO 44 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 5166-003-012, 5166-003-006

THIS DESCRIPTION DESCRIBES ALL THAT REAL PROPERTY DESCRIBED IN TITLE REPORT IDENTIFIED AS CHICAGO TITLE COMPANY, ORDER NO. 00060931-994-X49-DB, DATED NOVEMBER 1, 2016.

**COMMITMENT NO. NCS-795408-LA2**

THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOTS 11, 12, 13, 14, 15 AND 16 OF TRACT NO. 10054, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 146, PAGES 42, 43, AND 44 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 5166-003-010

THIS DESCRIPTION DESCRIBES ALL THAT REAL PROPERTY DESCRIBED IN TITLE REPORT IDENTIFIED AS FIRST AMERICAN TITLE COMPANY, COMMITMENT NO. NCS-795408-LA2, DATED MAY 16, 2016.

**NOTES CORRESPONDING TO SCHEDULE "B":**

**PER ORDER NO. 00060931-994-X49-DB**

2. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED COVENANT AND AGREEMENT, RECORDED FEBRUARY 26, 1964, INSTRUMENT NO. 5209 IN BOOK M-1462, PAGE 659, OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)

3. WAIVER OF ANY CLAIMS FOR DAMAGES TO SAID LAND BY REASON OF THE LOCATION, CONSTRUCTION, LANDSCAPING OR MAINTENANCE OF THE STREET OR HIGHWAY ADJOINING SAID LAND, AS CONTAINED IN THE DOCUMENT, RECORDED NOVEMBER 13, 1970, INSTRUMENT NO. 3548 OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)

4. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED COVENANT AND AGREEMENT, RECORDED JUNE 22, 1984, INSTRUMENT NO. 84-750070, OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)

5. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED COVENANT AND AGREEMENT REGARDING MAINTENANCE OF BUILDING SUPPORT, RECORDED NOVEMBER 17, 2014, INSTRUMENT NO. 2014-1226539, OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)

7. COVENANT AND AGREEMENT WHEREIN THE OWNERS AGREE TO HOLD SAID LAND AS ONE PARCEL AND NOT TO SELL ANY PORTION THEREOF SEPARATELY. SAID COVENANT IS EXPRESSED TO RUN WITH THE LAND AND BE BINDING UPON FUTURE OWNERS, RECORDED JULY 18, 1988, INSTRUMENT NO. 88-1126500, OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)

8. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED COVENANT AND AGREEMENT REGARDING MAINTENANCE OF BUILDING SUPPORT, RECORDED NOVEMBER 17, 2014, INSTRUMENT NO. 2014-1226538, OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)

9. A NOTICE THAT SAID LAND IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY SHOWN BELOW, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT, RECORDED NOVEMBER 30, 2007, INSTRUMENT NO. 20072636425, OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)

**PER COMMITMENT NO. NCS-795408-LA2**

3. THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE CENTRAL INDUSTRIAL REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED NOVEMBER 30, 2007 AS INSTRUMENT NO. 20072636425 OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)

5. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "COVENANT AND AGREEMENT REGARDING MAINTENANCE OF BUILDING SUPPORT" RECORDED NOVEMBER 17, 2014 AS INSTRUMENT NO. 2014-1226538 OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)

6. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "COVENANT AND AGREEMENT REGARDING MAINTENANCE OF BUILDING SUPPORT" RECORDED NOVEMBER 17, 2014 AS INSTRUMENT NO. 2014-1226539 OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)

7. AN AGREEMENT OR COVENANT TO HOLD LAND AS ONE PARCEL RECORDED NOVEMBER 17, 2014 AS INSTRUMENT NO. 2014-1226540 OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)

8. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "MASTER COVENANT AND AGREEMENT REGARDING ON-SITE BMP MAINTENANCE" RECORDED FEBRUARY 25, 2015 AS INSTRUMENT NO. 2015203435 OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)

**SURVEYOR'S CERTIFICATION:**

TO: ONNI CAPITAL LLC, 7th PLACE PARTNERS-OWNER LLC, A DELAWARE LIMITED LIABILITY COMPANY AND CHICAGO TITLE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2-4, 7(G)(1)(C), 8, 9, 10(C), 13, 14, 16, 18, 19 & 20(\$1,000,000) OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 12-21-16.

MICHAEL FURLONG, PLS 8899 DATE

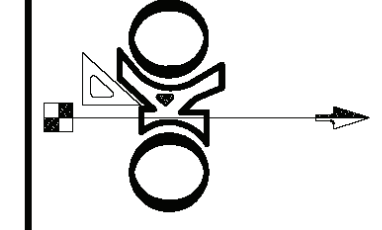
LICENSE EXPIRES: 12-31-17

DATE OF LAST REVISION: 12-15-16

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION WITHOUT THE ABOVE APPROVALS NOR WITHOUT THE REQUIRED PERMITS BEING OBTAINED.

REVISIONS	DESCRIPTION	DATE	APP'D
NO.			

**PROJECT ENGINEER:**  
**O.K.O. ENGINEERING INC.**  
 CIVIL ENGINEERS/SURVEYORS/STRUCTURAL/ & CAD SPECIALISTS  
 23671 BIRTCOR DRIVE  
 LAKE FOREST, CALIFORNIA 92650  
 949/597-3577  
 FAX 949/397-3579



**DATE:** 12/21/16  
**SCALE:** 1"=20'  
**DRAWN:** C.A.  
**CHECKED:** M.F.

**SHEET TITLE:** ALTA/NSPS LAND TITLE SURVEY  
**SITE:** 2118, 2120, 2124 & 2140 E. 7th PLACE  
 2117 VIOLET STREET  
 LOS ANGELES, CALIFORNIA

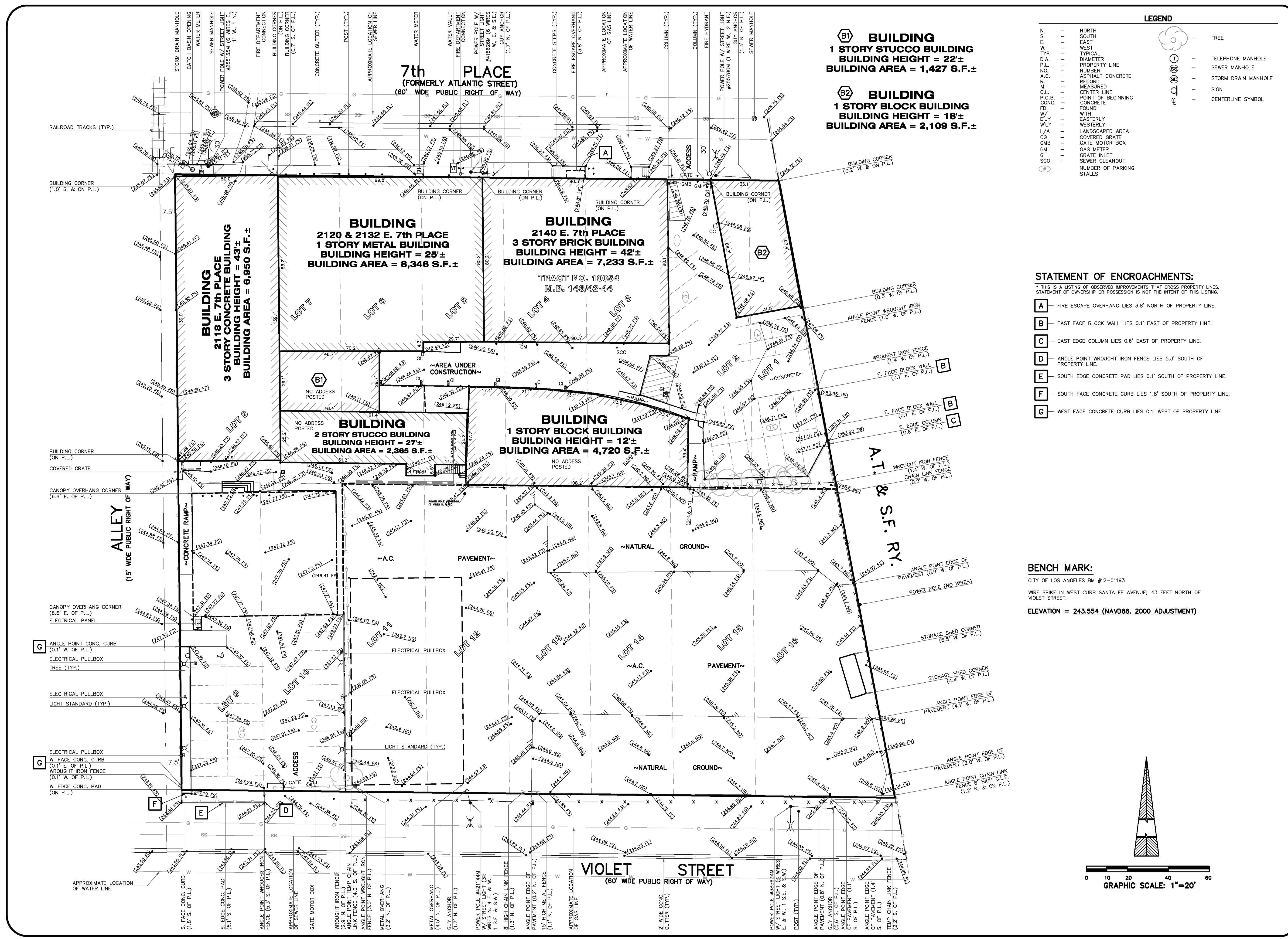
**SHEET NO.:** 1 of 2

DRAWN BY	CHK	INT	SCALE

2143 VIOLET, LOS ANGELES, CALIFORNIA

**PROJECT:** SURVEY PLAN 1 of 2

TITLE	ISSUE NO.
PROJECT NUMBER 201809	1
DRAWING NUMBER	A.104



**B1 BUILDING**  
**1 STORY STUCCO BUILDING**  
**BUILDING HEIGHT = 22'±**  
**BUILDING AREA = 1,427 S.F.±**

**B2 BUILDING**  
**1 STORY BLOCK BUILDING**  
**BUILDING HEIGHT = 18'±**  
**BUILDING AREA = 2,109 S.F.±**

**BUILDING**  
**2120 & 2132 E. 7th PLACE**  
**1 STORY METAL BUILDING**  
**BUILDING HEIGHT = 25'±**  
**BUILDING AREA = 8,346 S.F.±**

**BUILDING**  
**2140 E. 7th PLACE**  
**3 STORY BRICK BUILDING**  
**BUILDING HEIGHT = 42'±**  
**BUILDING AREA = 7,233 S.F.±**

TRACT NO. 10054  
 M.B. 146/42-44

**BUILDING**  
**2118 E. 7th PLACE**  
**3 STORY CONCRETE BUILDING**  
**BUILDING HEIGHT = 43'±**  
**BUILDING AREA = 6,950 S.F.±**

**BUILDING**  
**2 STORY STUCCO BUILDING**  
**BUILDING HEIGHT = 27'±**  
**BUILDING AREA = 2,365 S.F.±**

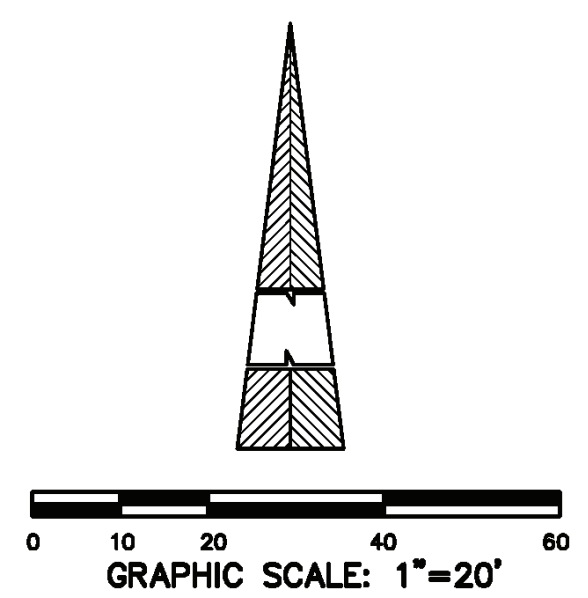
**BUILDING**  
**1 STORY BLOCK BUILDING**  
**BUILDING HEIGHT = 12'±**  
**BUILDING AREA = 4,720 S.F.±**

**LEGEND**

N	NORTH
S	SOUTH
E	EAST
W	WEST
TYP.	TYPICAL
D.P.A.	DIAMETER
P.L.	PROPERTY LINE
NO.	NUMBER
A.C.	ASPHALT CONCRETE
R.M.	RECORD MEASURED
C.L.	CENTER LINE
P.O.B.	POINT OF BEGINNING
CONC.	CONCRETE
FD	FOUND
W	WITH
E.L.Y.	EASTERLY
W.L.Y.	WESTERLY
LA	LANDSCAPED AREA
CG	COVERED GRATE
GMB	GATE MOTOR BOX
GM	GAS METER
G	GRATE INLET
SCO	SEWER CLEANOUT
○	NUMBER OF PARKING STALLS
○	TREE
○	TELEPHONE MANHOLE
○	SEWER MANHOLE
○	STORM DRAIN MANHOLE
○	SIGN
○	CENTERLINE SYMBOL

- STATEMENT OF ENCROACHMENTS:**  
 \* THIS IS A LISTING OF OBSERVED IMPROVEMENTS THAT CROSS PROPERTY LINES. STATEMENT OF OWNERSHIP OR POSSESSION IS NOT THE INTENT OF THIS LISTING.
- A** FIRE ESCAPE OVERHANG LIES 3.8' NORTH OF PROPERTY LINE.
  - B** EAST FACE BLOCK WALL LIES 0.1' EAST OF PROPERTY LINE.
  - C** EAST EDGE COLUMN LIES 0.6' EAST OF PROPERTY LINE.
  - D** ANGLE POINT WROUGHT IRON FENCE LIES 5.3' SOUTH OF PROPERTY LINE.
  - E** SOUTH EDGE CONCRETE PAD LIES 6.1' SOUTH OF PROPERTY LINE.
  - F** SOUTH FACE CONCRETE CURB LIES 1.8' SOUTH OF PROPERTY LINE.
  - G** WEST FACE CONCRETE CURB LIES 0.1' WEST OF PROPERTY LINE.

**BENCH MARK:**  
 CITY OF LOS ANGELES BM #12-01193  
 WIRE SPIKE IN WEST CURB SANTA FE AVENUE, 43 FEET NORTH OF VIOLET STREET.  
**ELEVATION = 243.554 (NAVD88, 2000 ADJUSTMENT)**



THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION WITHOUT THE ABOVE APPROVALS FOR WITHOUT THE REQUIRED PERMITS BEING OBTAINED.

NO.	REVISIONS	DESCRIPTION	DATE	APPD

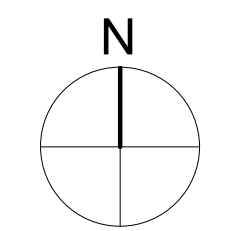
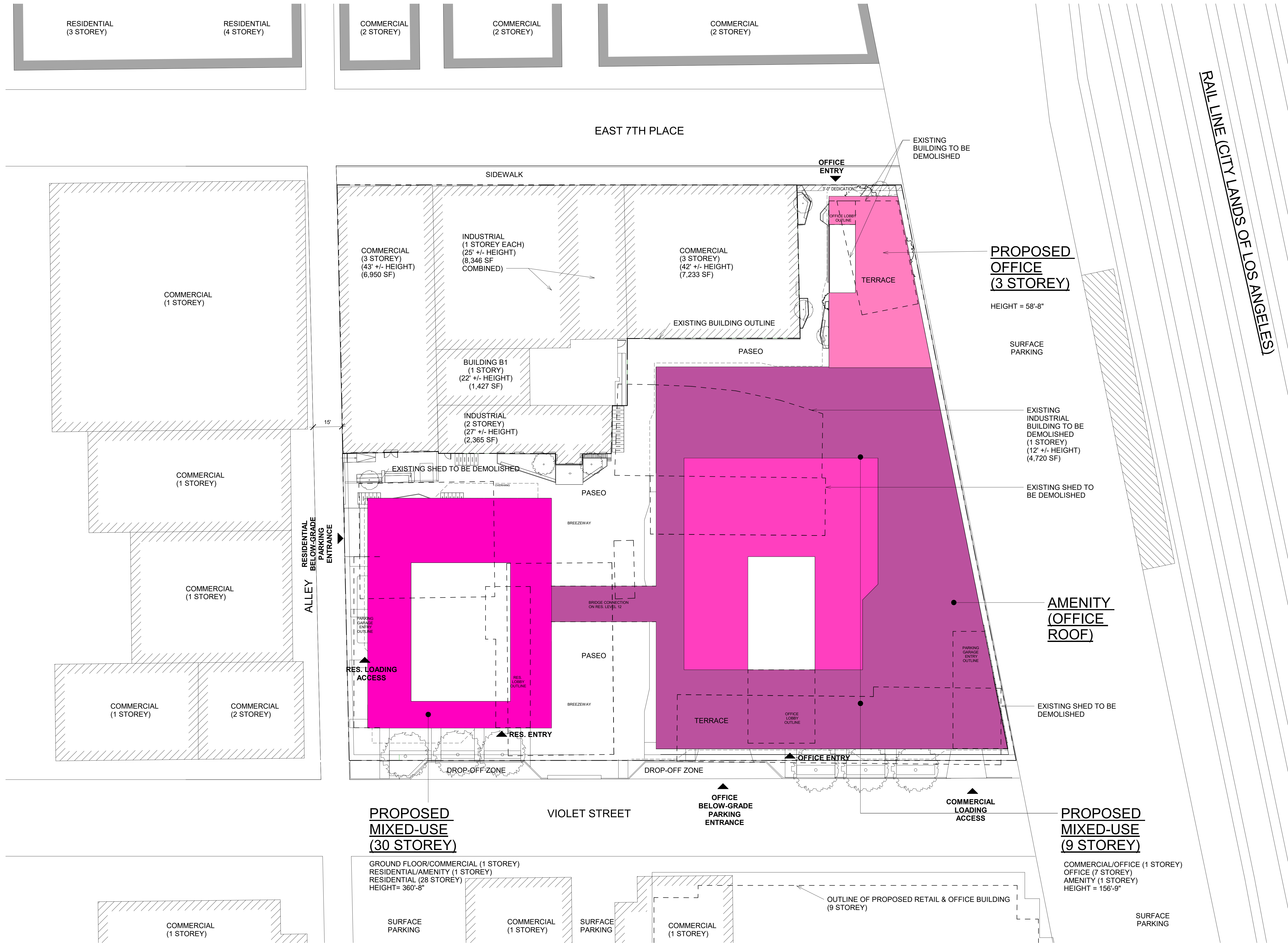
PROJECT ENGINEER:  
**O.K.O. ENGINEERING INC.**  
 CIVIL ENGINEERS/SURVEYORS/STRUCTURAL/ & CAD SPECIALISTS  
 23671 BIRCHER DRIVE  
 LAKE FOREST, CALIFORNIA 92630  
**949/597-3577**  
 FAX 949/597-3579

DATE	12/21/16
SCALE	1"=20'
DRAWN	C.A.
CHECKED	M.F.

SHEET TITLE: **ALTA/NSPS LAND TITLE SURVEY**  
 SITE: **2118, 2120, 2124 & 2140 E. 7th PLACE**  
**2117 VIOLET STREET**  
 LOS ANGELES, CALIFORNIA

SHEET NO. **2** of **2**  
 J.N. 2017-13

DRAWN BY	CHK	INT	SCALE
DRAWING DATE			08/10/18
PROJECT			
SURVEY PLAN 2 of 2			
TITLE			ISSUE NO.
PROJECT NUMBER 201809			1
DRAWING NUMBER			A.105



4	ENTITLEMENT PKG. REVISION	2021-05-07
3	ENTITLEMENT PKG. REVISION	2021-03-11
2	ENTITLEMENT PKG. REVISION	2020-03-16
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28

**AMM** ARNO MATIS ARCHITECTURE INC.

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DRAWN BY	CHK	INT	SCALE
WC			3/64" = 1'-0"
YL			DRAWING DATE
			2021-03-04

**2143 VIOLET, LOS ANGELES CALIFORNIA**

PROJECT  
**PLOT PLAN**

TITLE	ISSUE NO.
PROJECT NUMBER 201802	4
DRAWING NUMBER	A.106

C:\Users\arnm\Documents\2018\2143 VIOLET\2143 VIOLET\_PLOT PLAN.dwg  
 04/02/2021 12:28:58 PM  
 User: arnm

# SITE PHOTOS

E 7TH PL



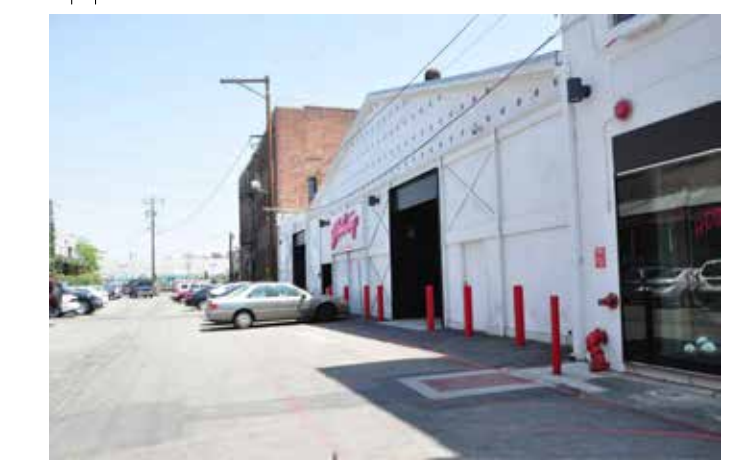
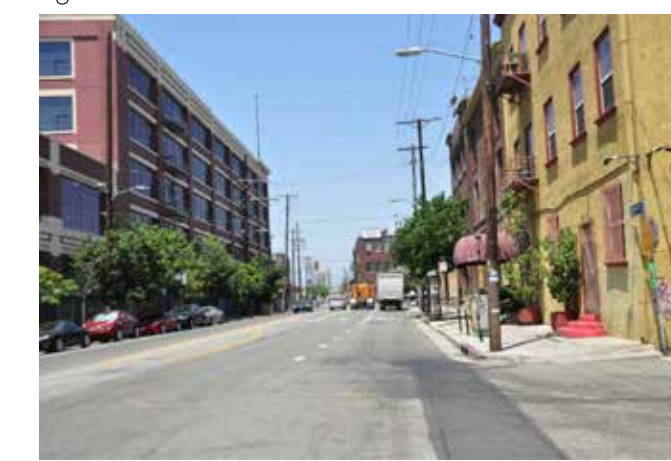
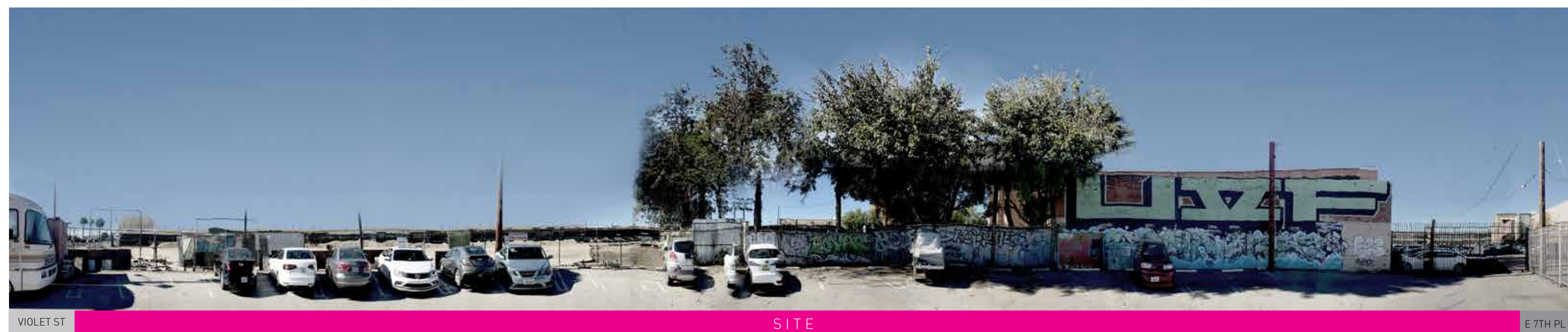
ALLEYWAY WEST TO SITE



VIOLET ST



PARKING LOT EAST TO SITE



5	ENTITLEMENT PKG. REVISION	2021-05-07
4	ENTITLEMENT PKG. REVISION	2021-03-11
3	ENTITLEMENT PKG. REVISION	2020-12-14
2	ENTITLEMENT PKG. REVISION	2020-04-07
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28

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			DRAWING DATE
			2021-05-07
2143 VIOLET, LOS ANGELES CALIFORNIA			
PROJECT			
SITE PHOTOS			
TITLE		ISSUE NO.	
PROJECT NUMBER		3	
201602			
DRAWING NUMBER		A.107	

# DEVELOPMENT CONTEXT

The Los Angeles Arts District is a vibrant neighborhood with a proud history. From its agricultural roots to its importance as a manufacturing and industrial center, to its emergence as an important hybrid industrial and live/work center, the Arts District continues to increase its presence and importance as a neighborhood that will shape the future of downtown Los Angeles.

Moving forward, the opportunity exists to meet the evolving land use needs to blend industrial and working residential uses within an area that supports liveability and employment.

## HISTORIC CONTEXT

View looking east of Jean-Louis Vignes' orchards, circa 1865.



Aerial view of Santa Fe railroad tracks. April 1, 1959.



Challenge Cream & Butter Association, date unknown.



Art Murals on Industrial Buildings in Arts District.

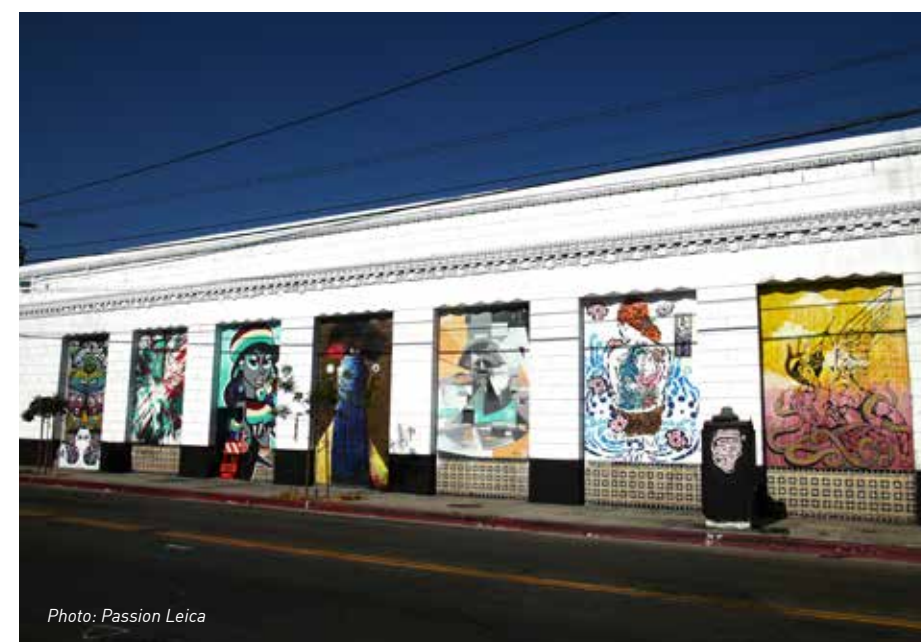
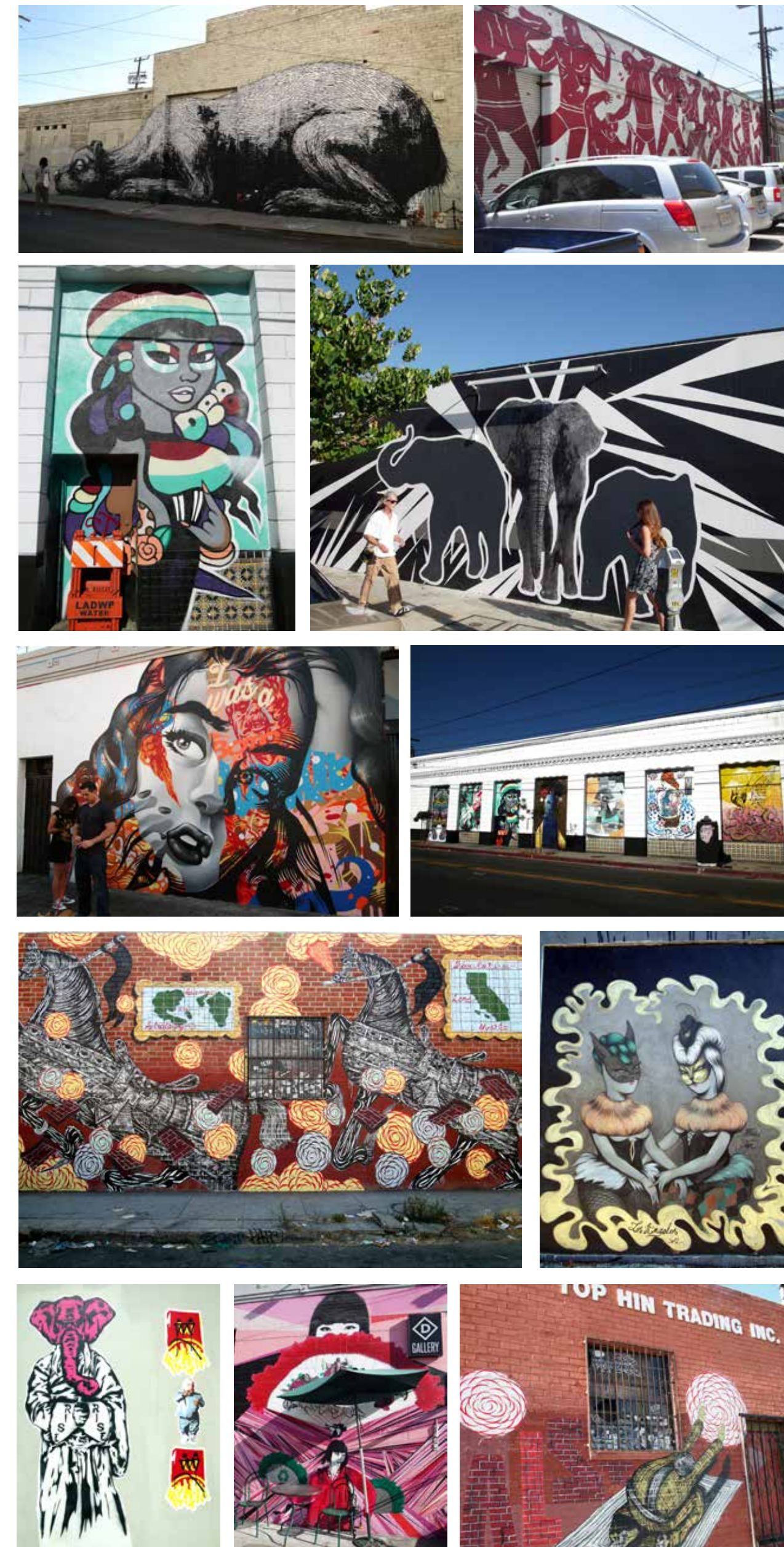


Photo: Passion Leica

## URBAN CONTEXT

ART FAÇADES FOUND WITHIN ARTS DISTRICT:



PHOTOS BY: PASSION LEICA

## ARCHITECTURAL CONTEXT

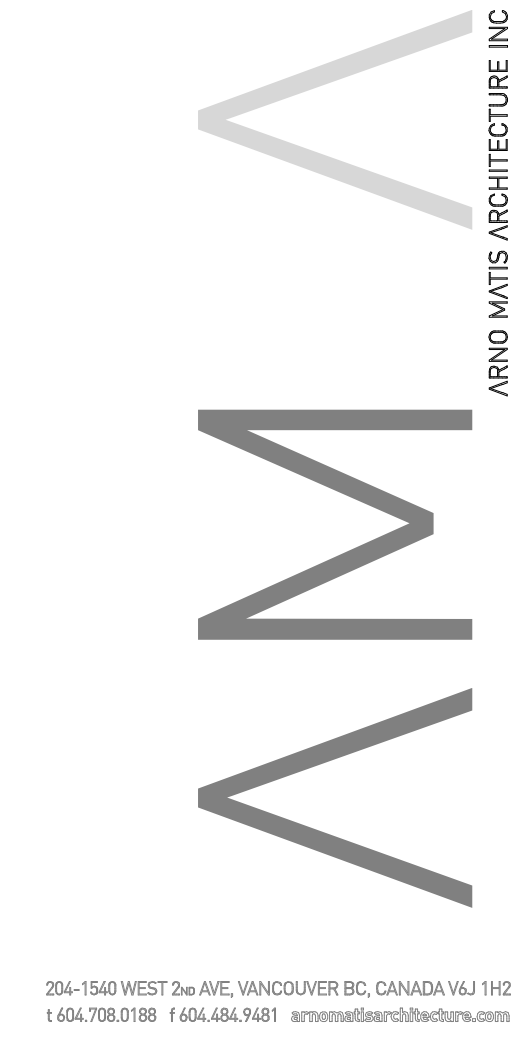
NOTED BUILDINGS & UPCOMING DEVELOPMENTS WITHIN THE ARTS DISTRICT:



IMG: GOOGLE.COM



5	ENTITLEMENT PKG. REVISION	2021-05-07
4	ENTITLEMENT PKG. REVISION	2021-03-11
3	ENTITLEMENT PKG. REVISION	2020-12-14
2	ENTITLEMENT PKG. REVISION	2020-04-07
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



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DRAWN BY	CHK	INT	SCALE
DRAWING DATE			
			2021-05-07

2143 VIOLET,  
 LOS ANGELES  
 CALIFORNIA

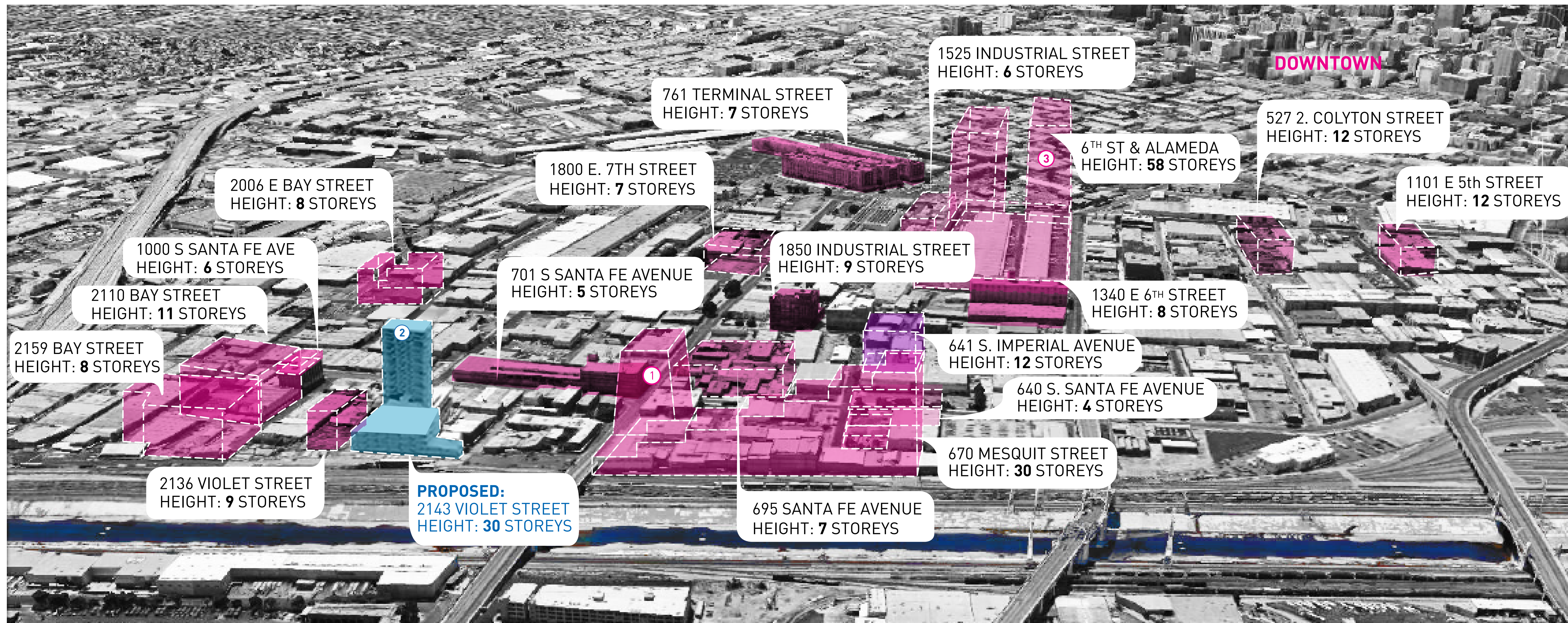
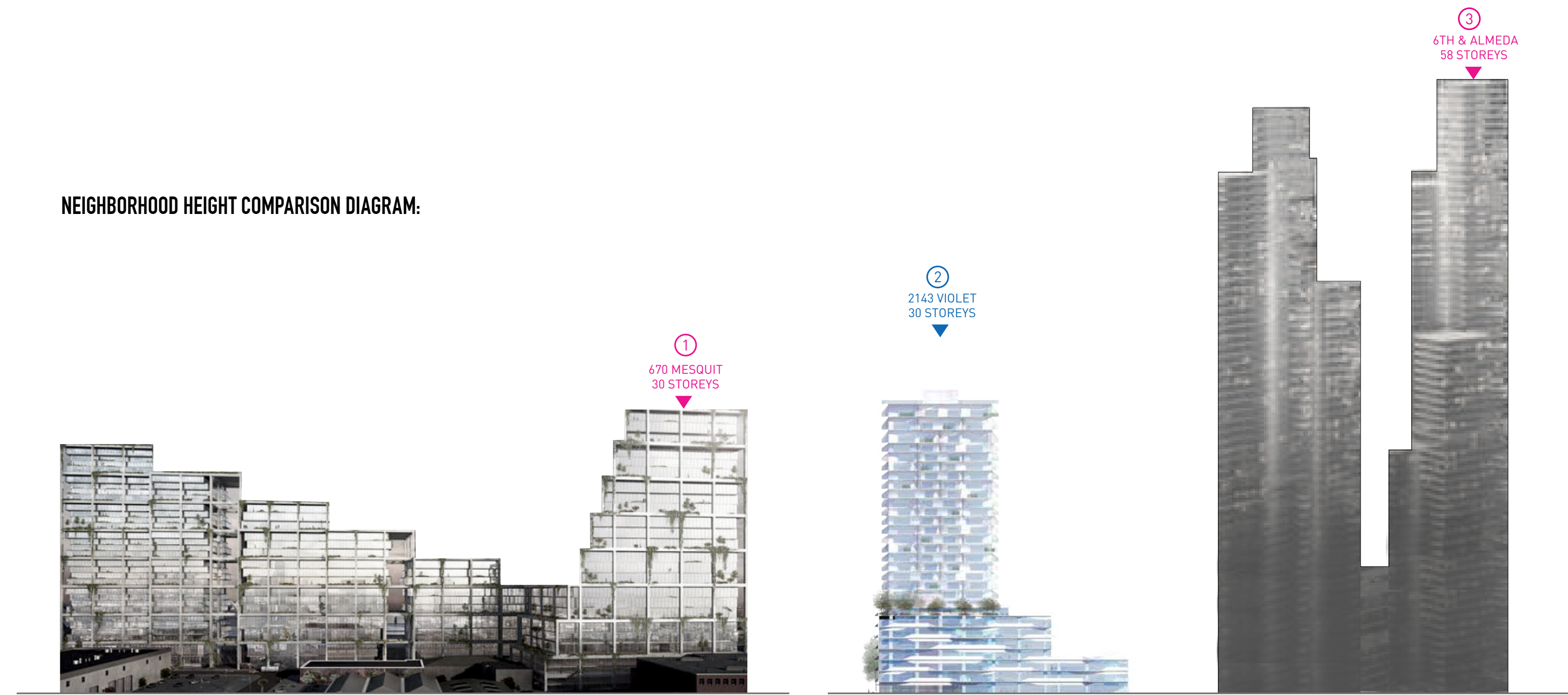
PROJECT  
**DEVELOPMENT  
 CONTEXT**

TITLE	ISSUE NO.
PROJECT NUMBER 201602	<b>3</b>
DRAWING NUMBER	<b>A.108</b>



# HEIGHT CONTEXT

NEIGHBORHOOD HEIGHT COMPARISON DIAGRAM:



ALL GRAPHICS ON PAGE ARE DIAGRAMMATIC - NTS

3	ENTITLEMENT PKG. REVISION	2021-09-07
2	ENTITLEMENT PKG. REVISION	2021-05-11
3	ENTITLEMENT PKG. REVISION	2020-12-14
2	ENTITLEMENT PKG. REVISION	2020-04-07
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28

ARNO MATIS ARCHITECTURE INC

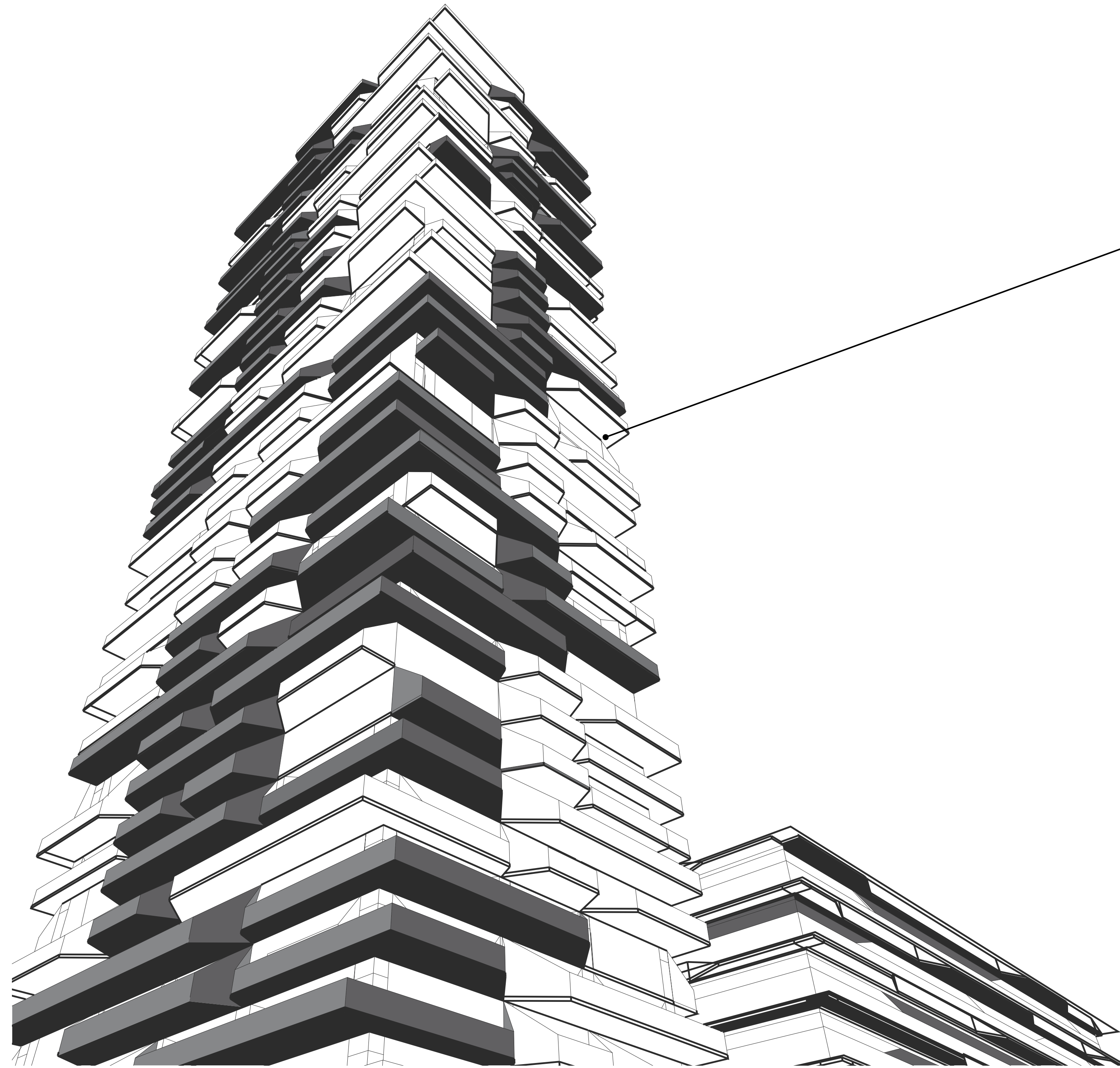
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			DRAWING DATE
			2021-05-07
2143 VIOLET, LOS ANGELES CALIFORNIA			
PROJECT			
HEIGHT & CONTEXT			
TITLE			ISSUE NO.
PROJECT NUMBER			3
DRAWING NUMBER			A.109

# PROJECT INTRODUCTION



*The architecture references the “industrial stack”; stacked components that recall a storage methodology prominent in industrial zones; the project reflects the structural rhythm and cadence of stacked pallets.*



#### ARCHITECTURAL EXPRESSION – “INDUSTRIAL STACK”

The building form and character is inspired by the industrial context and its history of shipping via the neighbouring rail infrastructure. The development proposal also draws heavily from the arts, presenting an exciting and optimistic view toward the future of this important neighborhood. With respect to architectural vocabulary, the architecture references the “industrial stack”; stacked components that recall a storage methodology prominent in industrial zones. Building scale and massing is defined by staggered massing components that break up the façade into distinct and offset planes. The staggered design breaks up the building’s massing and provides a setback from East 7th Place. The staggered design also creates large projection balconies that provide functional outdoor open space. Additional balconies and recessed window elements also create texture in the massing components.

#### ARCHITECTURAL CHARACTER

The architectural expression draws from the past but connects to the future; The expression is contemporary but respectful of the industrial heritage and strong influence of the arts within this community, re-interpreting the structural rhythm and cadence of stacked pallets. The intent here is to not reference any one single industry but to recall a visual pattern common in the area. The pattern of void and solid is modulated on the façade to enhance views, address the desire for passive solar control and to create a rhythm, texture and play of light and shadow on the dynamic building form.

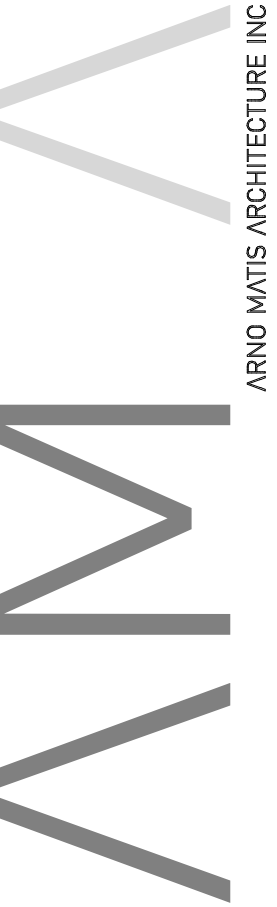
#### PUBLIC REALM

The design of the Project is intended to create an active, transparent street edge along both Violet Street and East 7th Place through the placement of commercial uses, improvements to the streetscape, and integration with internal paseos and plazas.

#### MATERIAL REFERENCE

With respect to materiality, we propose the introduction of a fritted glass deck panel that references the historic materiality of the area’s industrial past. Panels are introduced to modulate the exterior and fragment building massing with an ambiguous industrial materiality that is high-quality and contemporary in the proposed design, yet industrial in use.

4	ENTITLEMENT PKG. REVISION	2021-05-07
3	ENTITLEMENT PKG. REVISION	2020-12-14
2	ENTITLEMENT PKG. REVISION	2020-04-07
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



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DRAWN BY	CHK	INT	SCALE
			DRAWING DATE 2021-05-07

**2143 VIOLET,  
LOS ANGELES  
CALIFORNIA**

PROJECT  
**PROJECT INTRODUCTION**

TITLE PROJECT NUMBER 201602	ISSUE NO. <b>3</b>
-----------------------------------	-----------------------

DRAWING NUMBER  
**A.110**

# FORM & MASSING

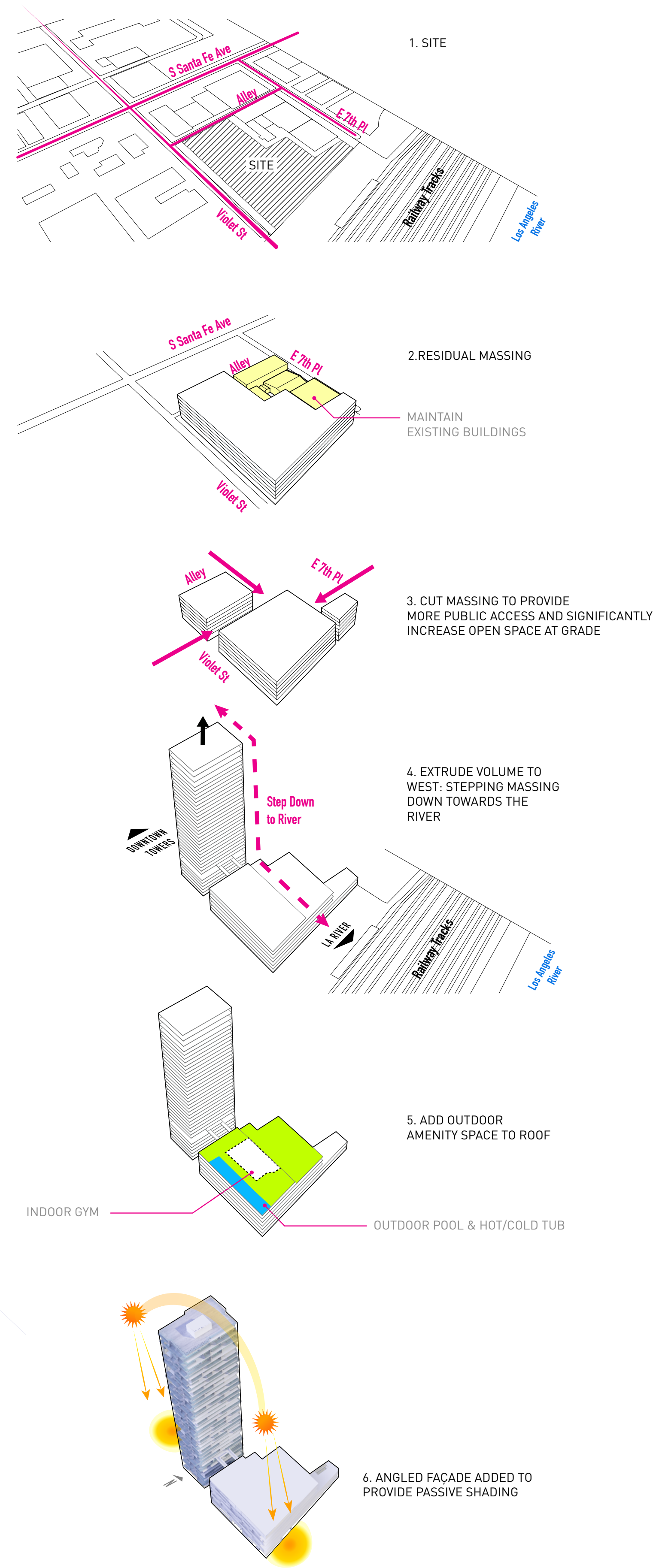
## FORM & MASSING

### BUILDING FORM - 360° DESIGN

The proposal presents itself as a podium and tower form blurring the lines between public and private uses. The massing is articulated through angled brise-soleil/privacy screens, stepped deck edges lines and a generous shared podium roof terrace. The new building footprint takes into account existing structures, creating paseo space between buildings to create an inviting paseo space, and encourage pedestrian flow. A vastly increased public realm at grade with a high level of glazing grade supports an animated paseo with strong indoor-outdoor relationships.

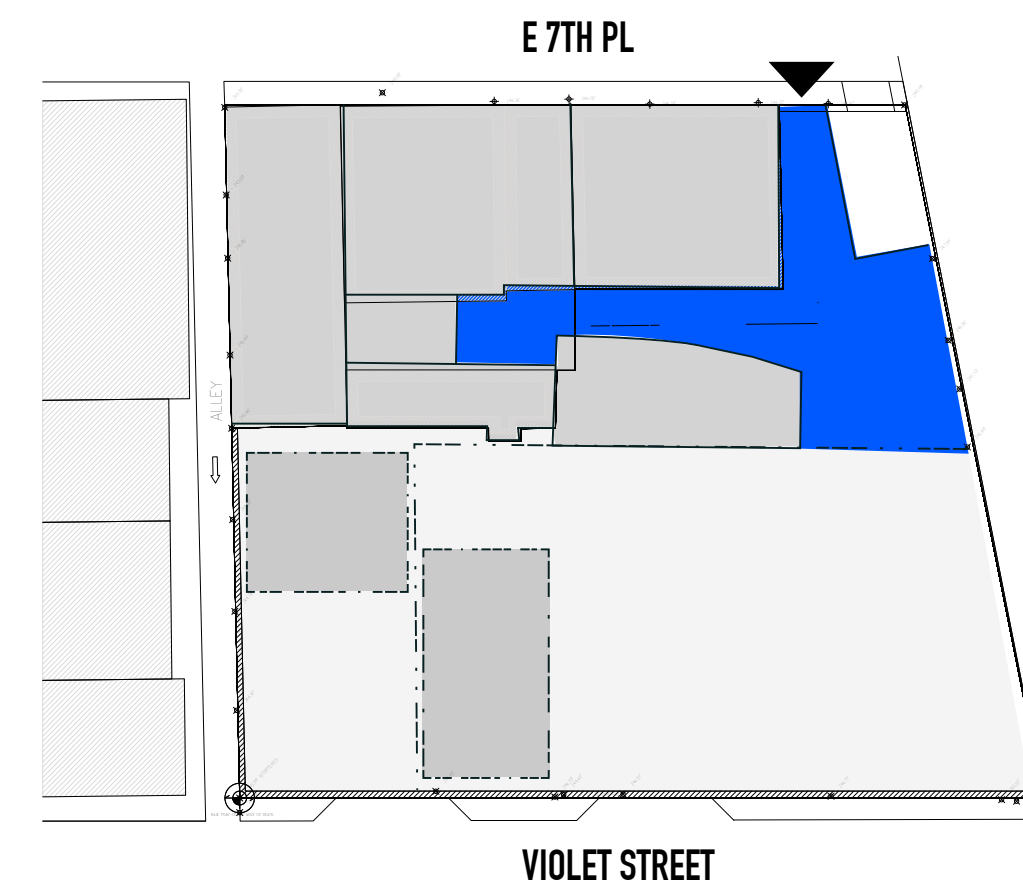
### CONSTRUCTION TYPE

The development is proposed in non-combustible steel or concrete structure (type II). The intent is to pursue the maximum supportable density for the proposed development site.

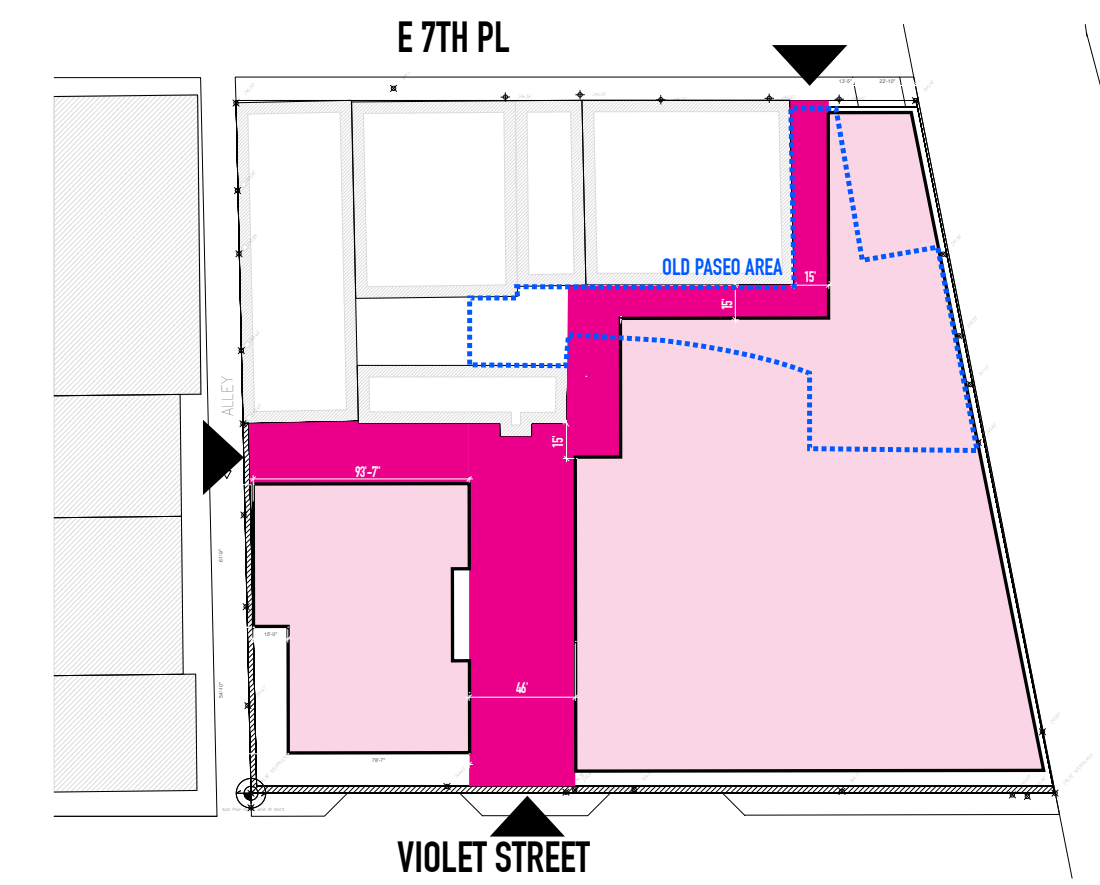


## PASEO

CURRENT CONDITION:  
*DOES NOT CONNECT.*



REVISED PASEO *PROVIDES FULL-SITE CONNECTION.*



REVISED PODIUM PROVIDES ADDITIONAL OPEN SPACE AND POROSITY

## URBAN DESIGN

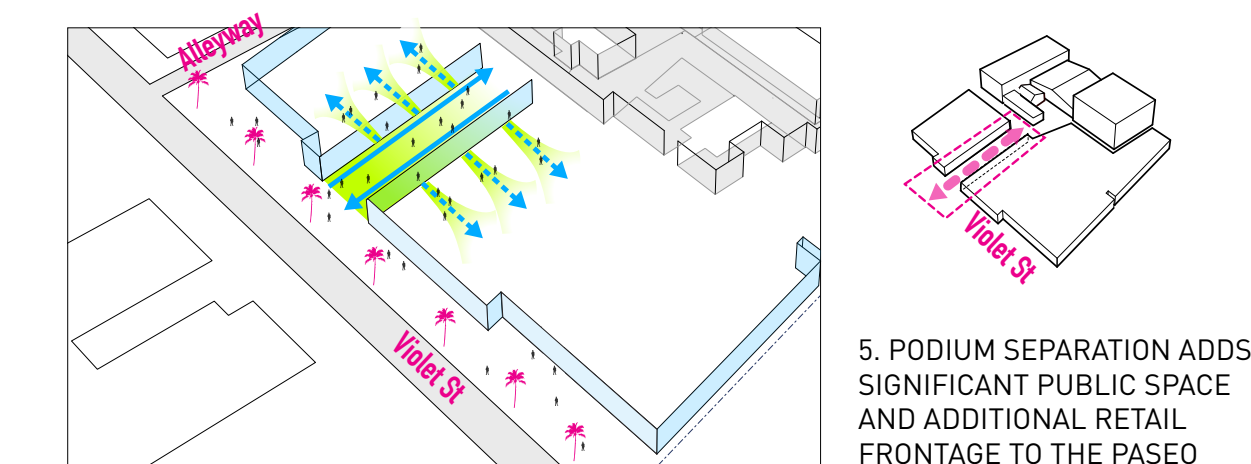
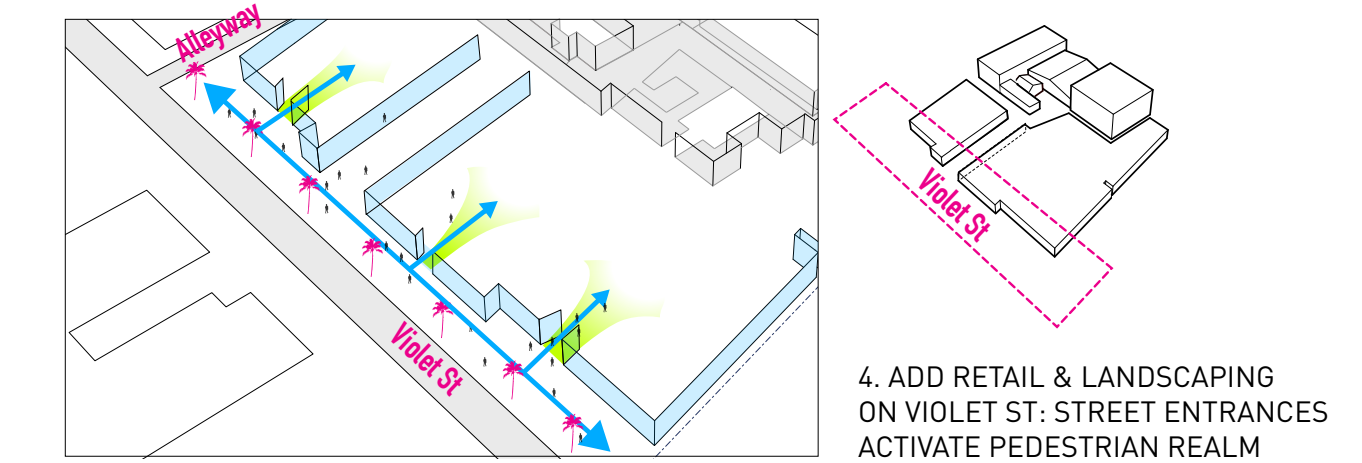
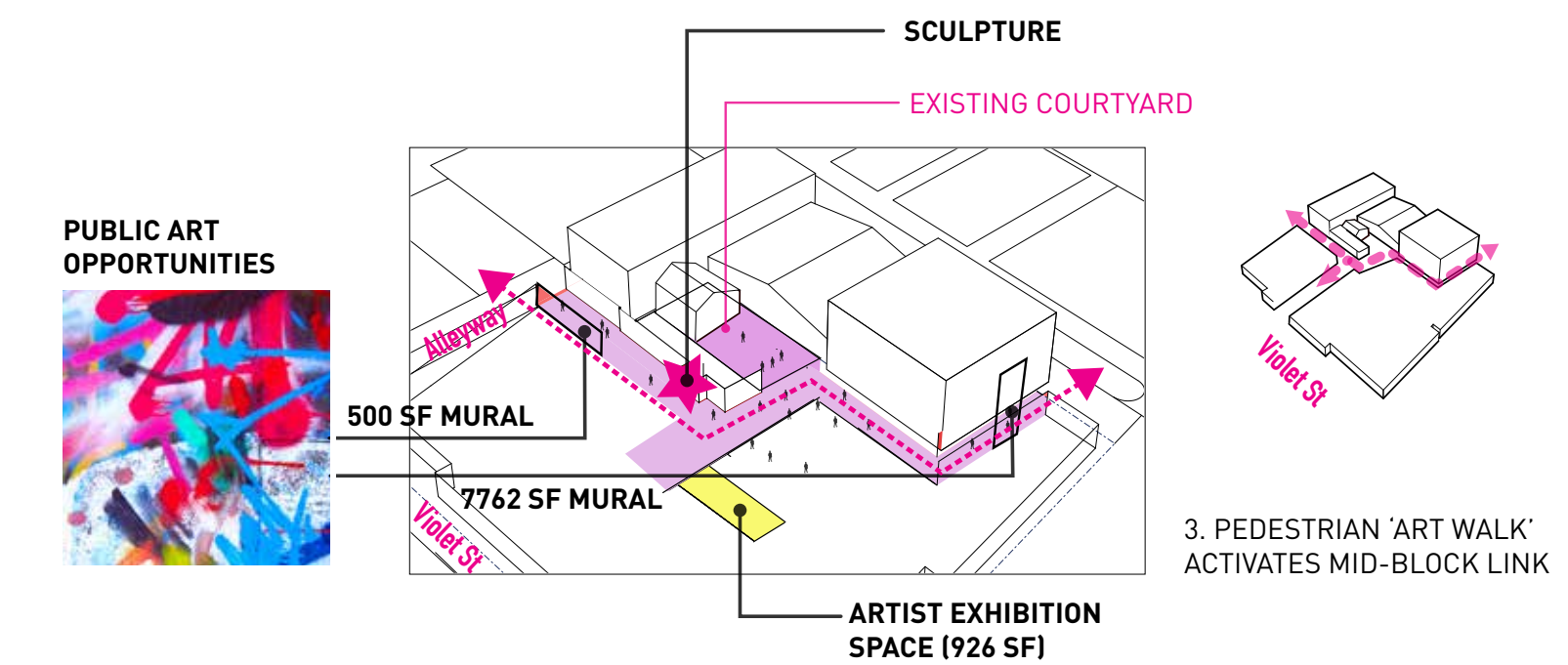
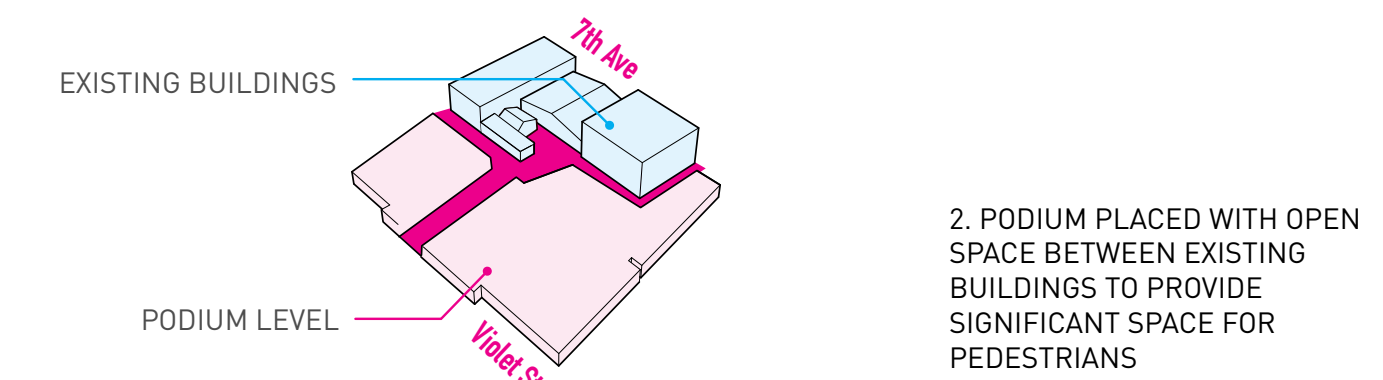
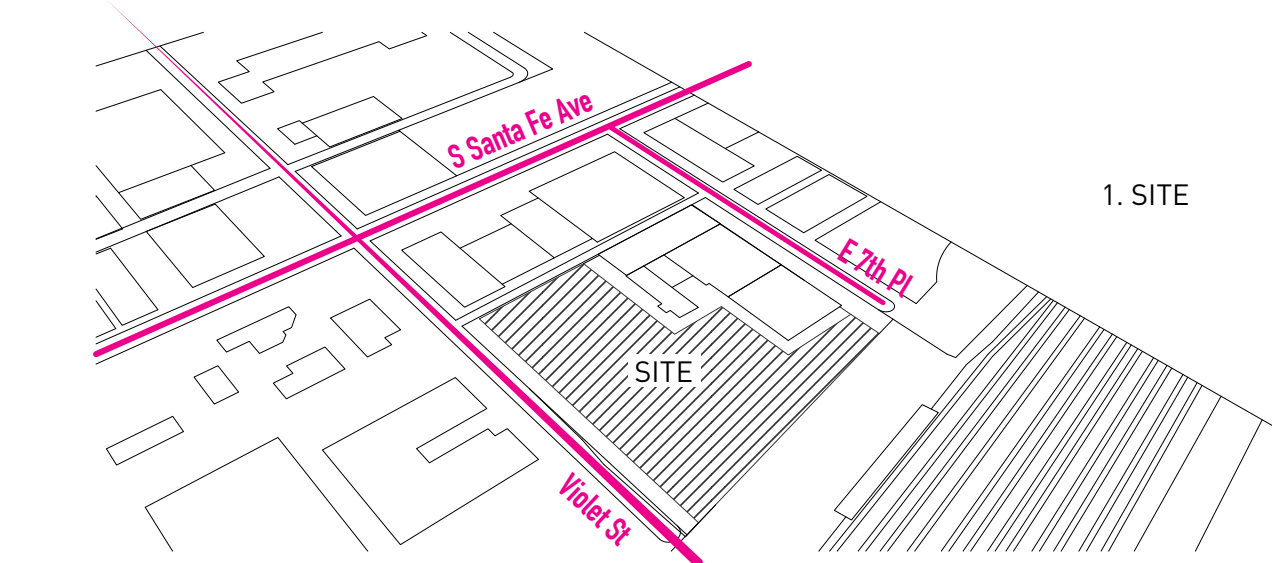
### PEDESTRIAN FIRST

Taking into consideration the Urban Design Studio's design priorities, this proposal prioritizes pedestrian space.

The proposal presents an active street edge with an open pedestrian plaza through the center of the site, connecting to a paseo to the north. The plaza/paseo acts as a community gathering area for residents and visitors alike.

Retail uses reinforce the street wall edge with generous setbacks and urban edge development including pedestrian furnishings, lighting and landscape.

Pedestrian flow is encouraged through and around the site with access through the increase of the public plaza and paseo spaces, main apartment lobby, commercial and artist production areas.



NO.	DESCRIPTION	DATE
6	ENTITLEMENT PKG. REVISION	2021-05-07
5	ENTITLEMENT PKG. REVISION	2021-05-11
3	ENTITLEMENT PKG. REVISION	2020-12-14
2	ENTITLEMENT PKG. REVISION	2020-04-07
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28

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2021-05-07

2143 VIOLET,  
LOS ANGELES  
CALIFORNIA

PROJECT  
FORM AND MASSING

TITLE	ISSUE NO.
PROJECT NUMBER 201602	3
DRAWING NUMBER	A.111

# RENDERING



VIEW FROM E7TH STREET LOOKING SOUTHEAST  
ARTISTIC RENDERING ONLY

NO.	REVISION	DATE
5	ENTITLEMENT PKG. REVISION	2021-05-07
4	ENTITLEMENT PKG. REVISION	2021-03-11
3	ENTITLEMENT PKG. REVISION	2020-12-14
2	ENTITLEMENT PKG. REVISION	2020-04-07
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



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			DRAWING DATE
			2021-05-07

2143 VIOLET,  
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CALIFORNIA

PROJECT  
RENDERING 1 of 4

TITLE	ISSUE NO.
PROJECT NUMBER 201602	3
DRAWING NUMBER	A.112

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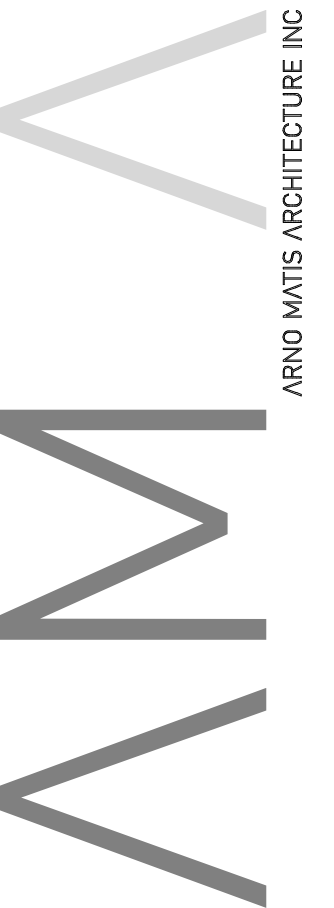


VIOLET STREET SIDEWALK CONDITION, SE OF SITE  
ARTISTIC RENDERING ONLY



VIEW FROM VIOLET STREET, LOOKING NORTHEAST  
ARTISTIC RENDERING ONLY

NO.	REVISION	DATE
5	ENTITLEMENT PKG. REVISION	2021-05-07
4	ENTITLEMENT PKG. REVISION	2021-03-11
3	ENTITLEMENT PKG. REVISION	2020-12-14
2	ENTITLEMENT PKG. REVISION	2020-04-07
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



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			2021-05-07

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PROJECT  
RENDERING 2 of 4

TITLE	ISSUE NO.
PROJECT NUMBER 201602	3
DRAWING NUMBER	A.113

# RENDERING



LOOKING UP FROM PASEO ON VIOLET STREET  
ARTISTIC RENDERING ONLY

5	ENTITLEMENT PKG. REVISION	2021-05-07
4	ENTITLEMENT PKG. REVISION	2021-03-11
3	ENTITLEMENT PKG. REVISION	2020-12-14
2	ENTITLEMENT PKG. REVISION	2020-04-07
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28

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DRAWING DATE  
2021-05-07

**2143 VIOLET,  
LOS ANGELES  
CALIFORNIA**

PROJECT  
**RENDERING 3 of 4**

TITLE	ISSUE NO.
PROJECT NUMBER 201602	<b>3</b>
DRAWING NUMBER	<b>A.114</b>

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# RENDERING



WHITE FROSTED GLASS  
DARK GREY FROSTED GLASS

STOREFRONT GLAZING

CHANNEL LETTER SIGNAGE

PUBLIC ART DISPLAY SPACE

PATIO / MOVEABLE SEATING

METAL BENCHES INTEGRATED  
INTO METAL PLANTERS


CONCRETE PAVERS

VIEW FROM PASEO LOOKING NORTH  
ARTISTIC RENDERING ONLY



VIEW FROM BIKE ALLEY (EASTERN PASEO ENTRY)  
LOOKING EAST  
ARTISTIC RENDERING ONLY

NO.	REVISION	DATE
5	ENTITLEMENT PKG. REVISION	2021-05-07
4	ENTITLEMENT PKG. REVISION	2021-03-11
3	ENTITLEMENT PKG. REVISION	2020-12-14
2	ENTITLEMENT PKG. REVISION	2020-04-07
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28

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			DRAWING DATE
			2021-05-07

2143 VIOLET,  
LOS ANGELES  
CALIFORNIA

PROJECT  
RENDERING 4 of 4

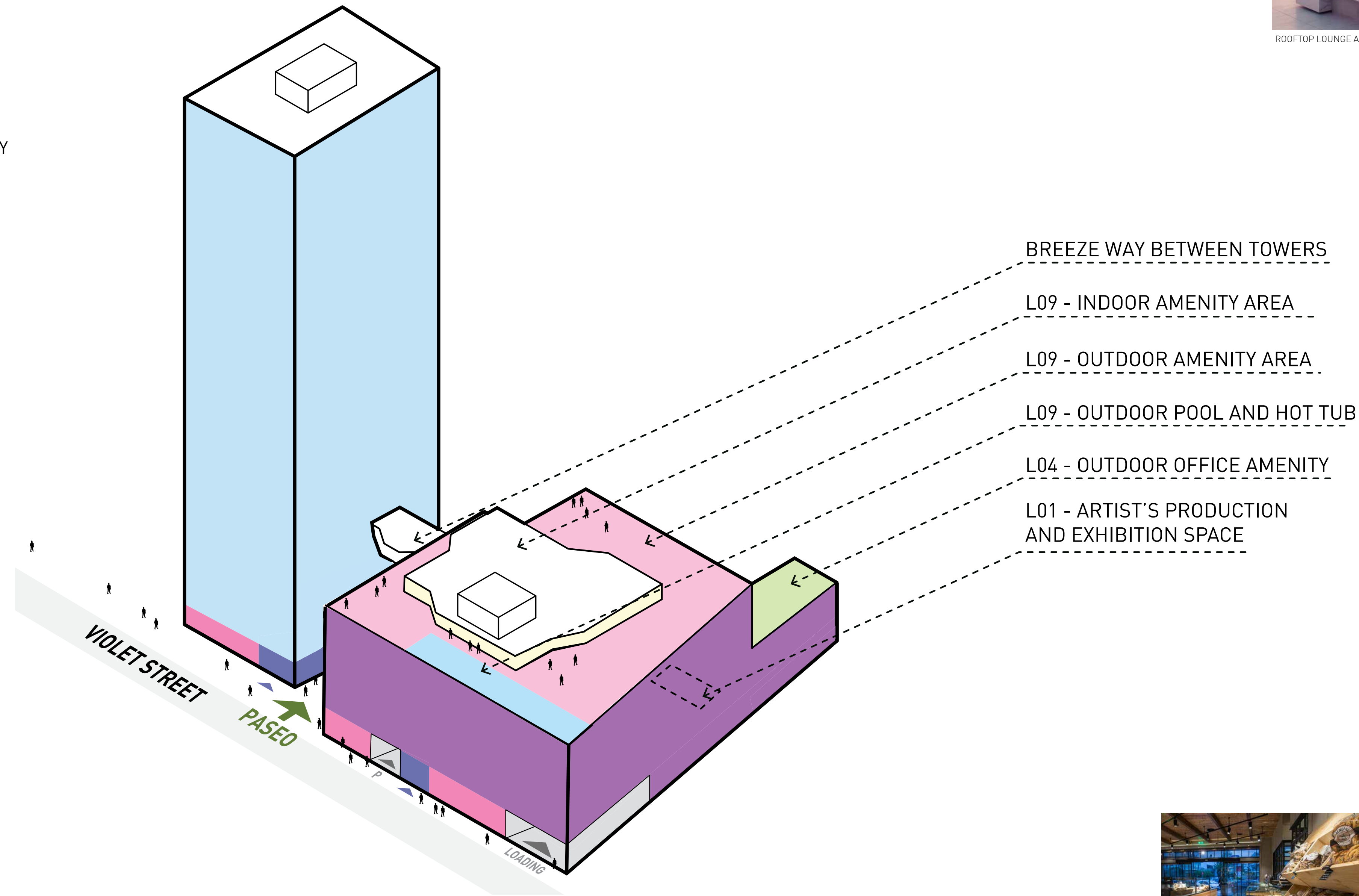
TITLE	ISSUE NO.
PROJECT NUMBER 201602	3
DRAWING NUMBER	A.115

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# PROGRAM

## LEGEND:

- LIVE/WORK RENTAL UNITS
- LOBBY
- OFFICE
- RETAIL/RESTAURANT
- RESIDENTIAL AMENITY (OUTDOOR)
- OFFICE AMENITY (OUTDOOR)
- INDOOR AMENITY



## PODIUM ROOF AMENITIES



## MID-BLOCK 'ARTWALK' PASEO



## PUBLIC SEATING



## 'CREATIVE' RETAIL TO ACTIVATE STREETEDGE



RETAIL:  
POSSIBLE USE: CAFE, BAKERY,  
ARTISAN SHOP & RESTAURANT

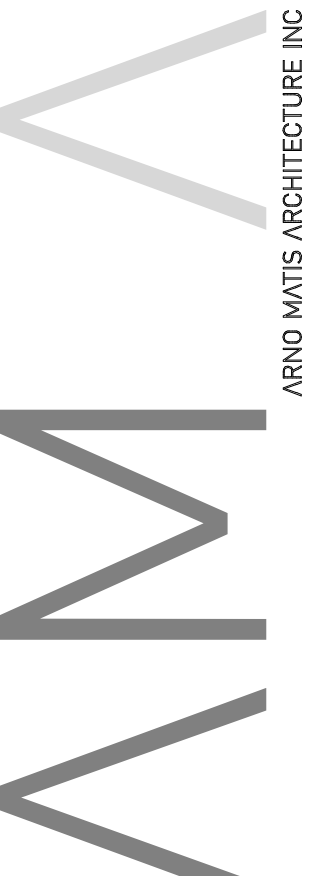


COMMERCIAL:  
POSSIBLE USE: INDUSTRIAL/  
ARTISAN FABRICATION (CERAMIC,  
WOOD -WORKING ETC.)



OFFICE:  
POSSIBLE USE: GRAPHIC DESIGN,  
PHOTOGRAPHY, CREATIVE-TECH  
ETC.

NO.	DESCRIPTION	DATE
5	ENTITLEMENT PKG. REVISION	2021-05-07
4	ENTITLEMENT PKG. REVISION	2021-03-11
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1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



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DRAWN BY	CHK	INT	SCALE
DRAWING DATE			
2021-05-07			

2143 VIOLET,  
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CALIFORNIA

PROJECT  
**PROGRAM**

TITLE	ISSUE NO.
PROJECT NUMBER 201602	<b>3</b>
DRAWING NUMBER	<b>A.116</b>



# PUBLIC BENEFIT

## PUBLIC BENEFIT

SCULPTURE OPPORTUNITY



POSSIBLE PUBLIC BIKE RACKS



VIEW OF PUBLIC PLAZA CONNECTING TO PASEO BETWEEN BUILDINGS



POP-UP CAFE



PUBLIC SEATING

### 1 ARTS AND PRODUCTIVE USES

In accordance with planning provisions, the development proposes a mix of employment and production functions. The target is to provide space to house creative uses, creative office or other qualifying arts and productive uses.

### 2 PUBLIC OPEN SPACE

To address the objective of supporting a vibrant street life for the neighborhood, we have proposed a public plaza between the two buildings. The open space is tailored to support the ground-oriented retail and workshop areas. The open space will help foster a sense of place and community that will contribute to the public realm.

### 3 ACTIVE GROUND FLOOR

Industrial areas are often characterized by large blocks and floor plates which are not originally intended to accommodate high volumes of pedestrians or the types of activities present in industrial mixed-use areas. The proposed retail frontage and public open space along with pedestrian paseo will infuse life and activity on the sidewalk, creating opportunities for passive and active use of public space.

### 4 ART FAÇADE OPPORTUNITY

The at-grade facades offer an opportunity to enhance and support the Arts District's unique identity and role within the City of Los Angeles. The project proposes an integration of art and architecture through designated zones along the Violet St. street edge and Paseo.

### 5 RESIDENT PRODUCTION SPACE

In addition to the arts and productive spaces, the development also proposes an onsite resident production space that provides increased capacity for goods fabrication and other production activities. The space provides an alternative for creative workers and entrepreneurs to incubate their work in-house instead of paying for work space off site.

### 6 VERY LOW/EXTREMELY LOW INCOME UNITS PROVIDED

The project provides 39 units for very low income tenants, and 18 units for extremely low income tenants.

### 7 ON SITE AMENITIES

In addition to grade-oriented production and open spaces, the proposal includes a roof park amenity that provides opportunity for social interaction and on-site recreation. The common area amenity package may include:

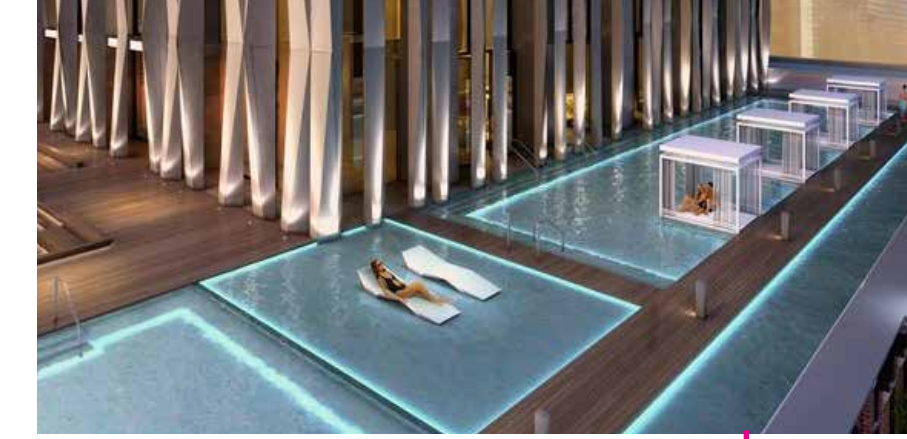
- Rooftop Outdoor Pool;
- Rooftop Poolside Seating;
- Rooftop Outdoor Barbecue Areas;
- Rooftop Outdoor Fire Pit Areas;
- Indoor Fitness Centre;
- Interior Lounge Space;

Other on-site common amenities include:

- Bicycle Storage/Maintenance Areas;
- Delivery Storage Area.

## RESIDENTAL/OFFICE AMENITY

ROOFTOP POOL & SEATING



ROOFTOP LOUNGE AREAS



BIKE STORAGE



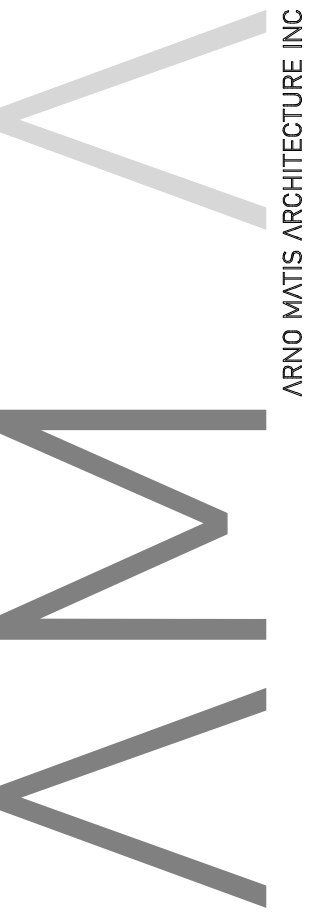
GYM

*\*Images are reference precedent examples only and not representative of final design.*

### 8 21ST CENTURY EMPLOYMENT SPACES

With its unique program and mix, the proposed development points to a new future for the Arts District and the City of Los Angeles. These interconnected and mutually supportive uses and spaces respond to the new and more sustainable ways of urban living: living close to work, shops, recreation. The project attempts to establish a benchmark with respect to this approach, in scale to the context and neighborhood.

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			2021-05-07

2143 VIOLET,  
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PROJECT  
 PUBLIC BENEFIT

TITLE	ISSUE NO.
PROJECT NUMBER 201602	3
DRAWING NUMBER	A.117

# CLIMATE-ADAPTED DESIGN

The proposed development outlines a number of key features in support of the sustainable design objectives for the Arts District:

## MIXED-USE PROGRAM

The mixed-use program with proposed synergistic program in support of living and working, supports an approach to a walkable community that reduces the reliance on transportation infrastructure. The proximity to the City center also supports a multi-modal transportation approach for those that wish to reduce their commute and reliance on the automobile.

## TRANSPORTATION AND RESOURCE-SHARING

In support of planning objectives, the proposal may provide unique parking provisions where stalls could be reserved for electric vehicles and car-sharing. This flexible approach supports an innovative intent to reduce car use and further sustainability objectives.

## PASSIVE DESIGN/FAÇADE TREATMENT (RESPONSIVE DESIGN)

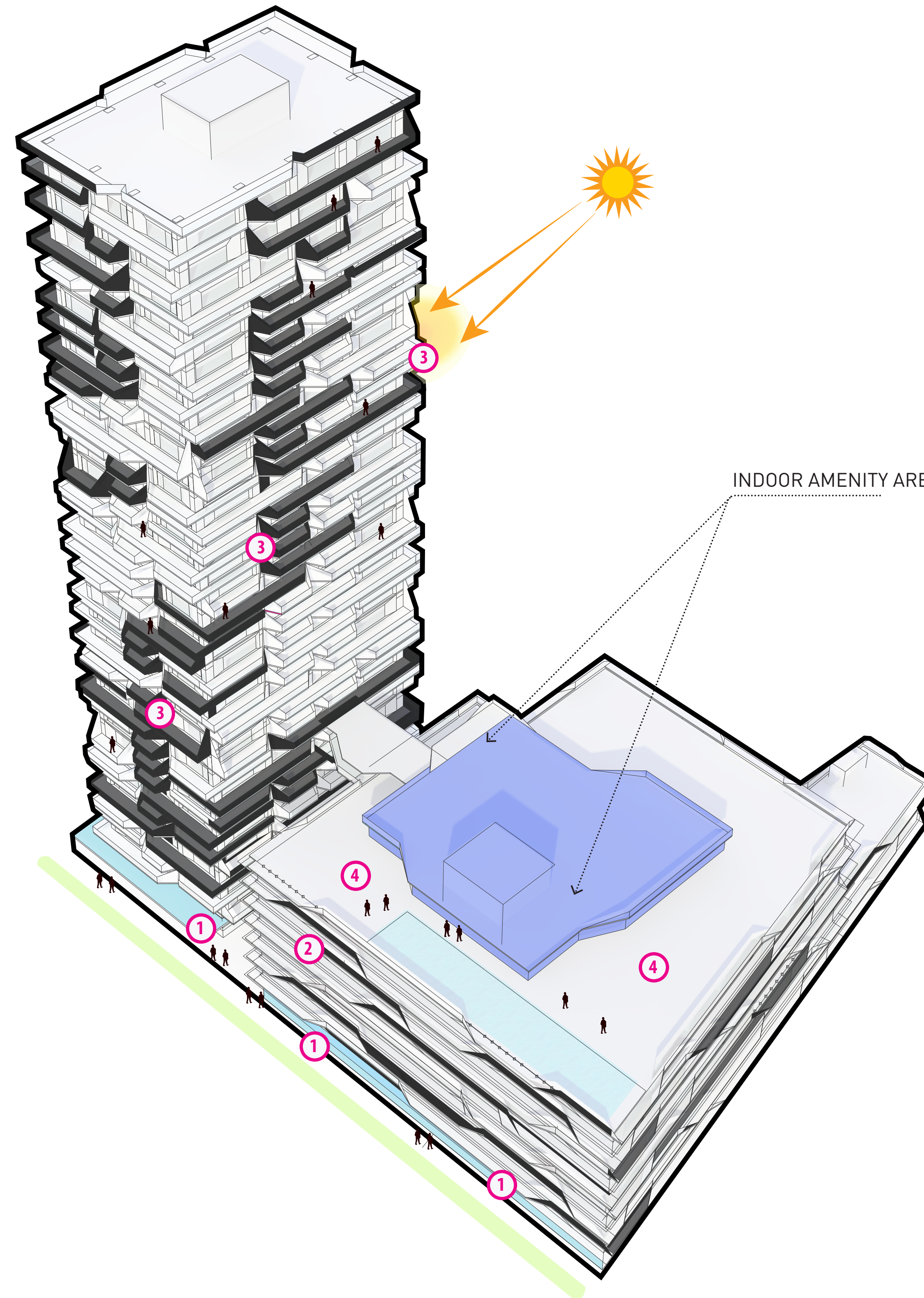
To address the desire for more sustainable development, the project proposes a passive strategy that is tightly integrated into the architectural character of the development. The "industrial stack" deck façade pattern not only provides for an animated play of light on the façade surfaces, it is also provides passive shading. Angled privacy screens on decks also provide passive shading for lower sun angles.

## ON-SITE AMENITIES/PODIUM ROOF PARK

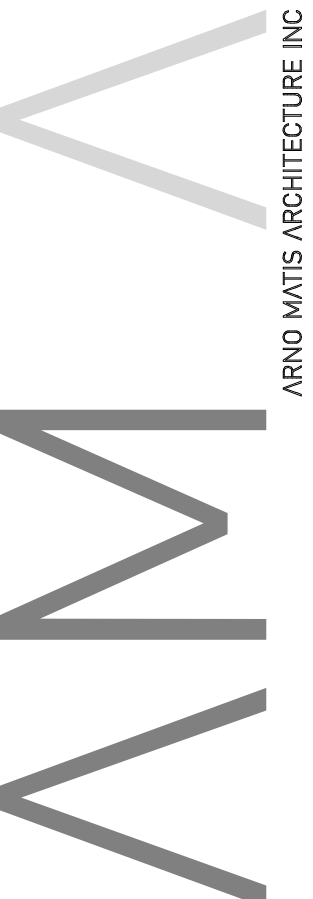
In support of planning objectives for vibrant and sustainable developments, the proposal includes provisions for a large roof park common amenity. The roof park will include a mix of hard and soft landscaped areas that will reduce the heat island effect and control storm runoff.

## LEGEND:

- ① HIGH GLAZED RETAIL FRONT
- ② COMMERCIAL / OFFICE
- ③ ANGLED BRISE-SOLEIL & PRIVACY SCREEN
- ④ PODIUM ROOF AMENITY



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			DRAWING DATE
			2021-05-07

**2143 VIOLET,  
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 CALIFORNIA**

PROJECT  
**CLIMATE-ADAPTED  
 DESIGN**

TITLE	ISSUE NO.
PROJECT NUMBER 201602	<b>3</b>

DRAWING NUMBER  
**A.118**

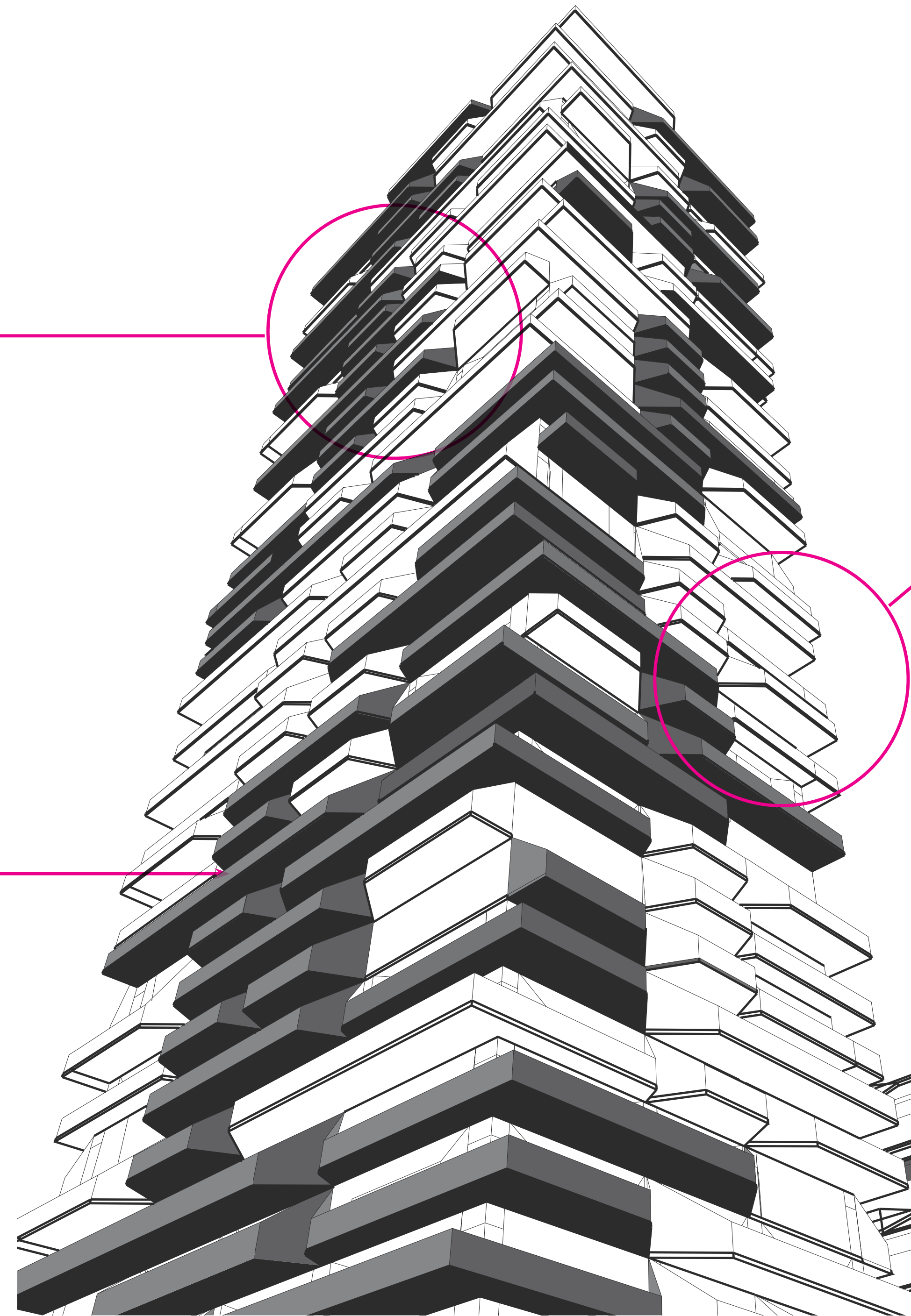
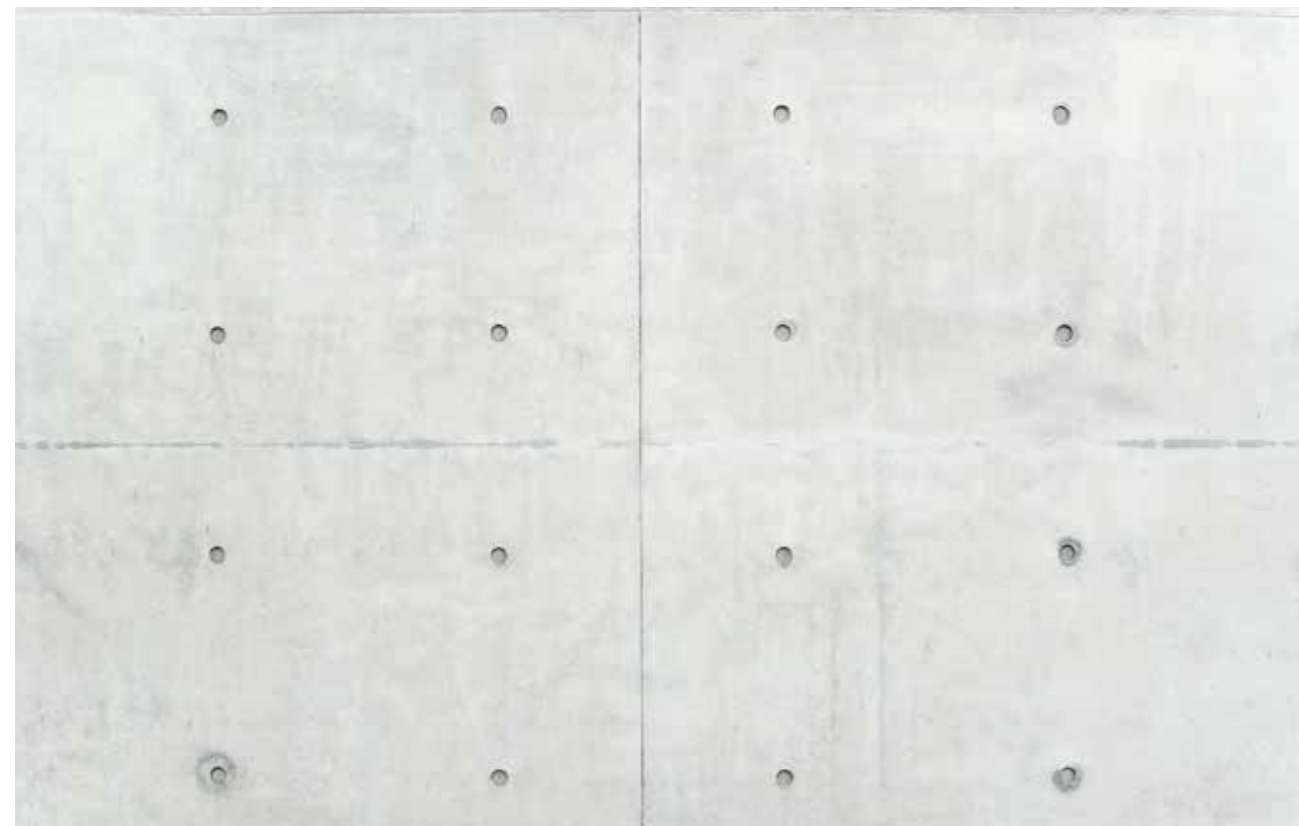
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# FACADE/MATERIALS

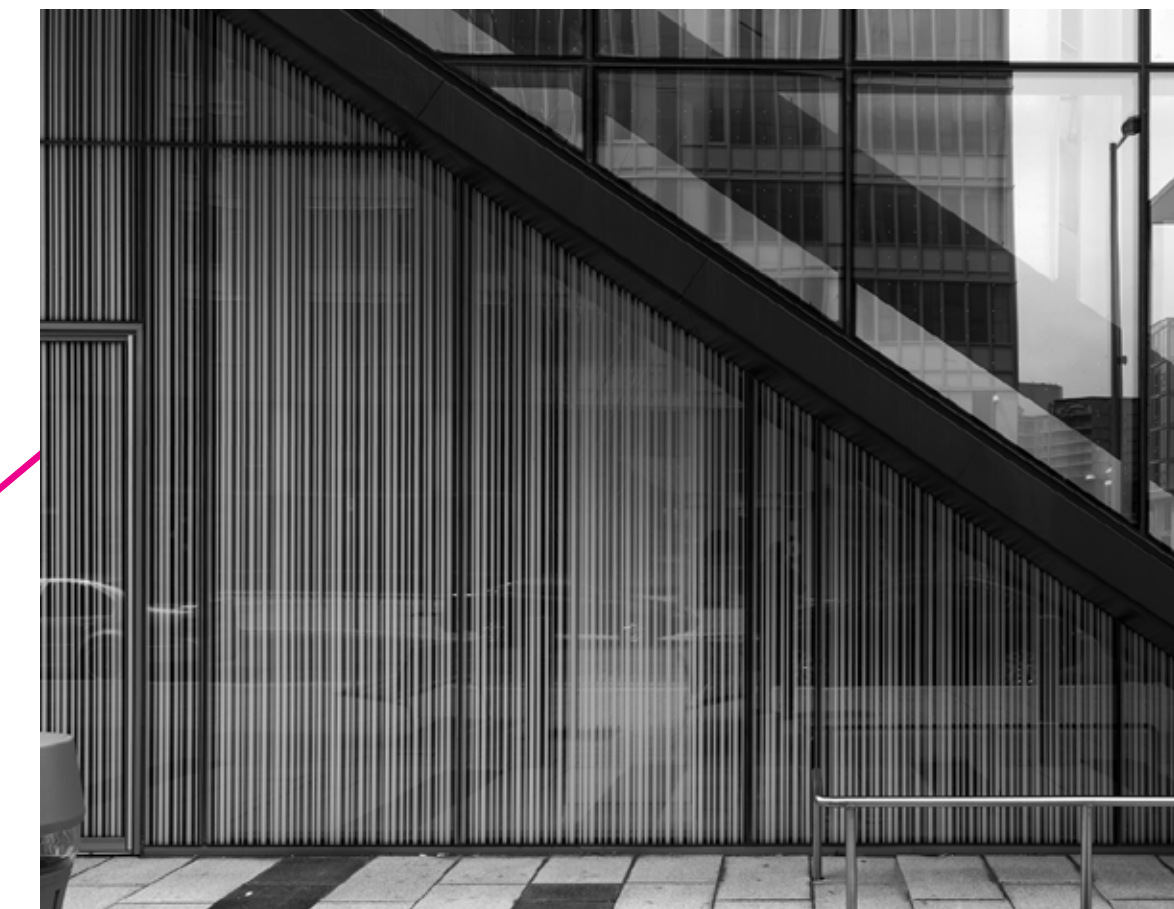
ANGLED PRIVACY SCREENS (BLACK AND WHITE)



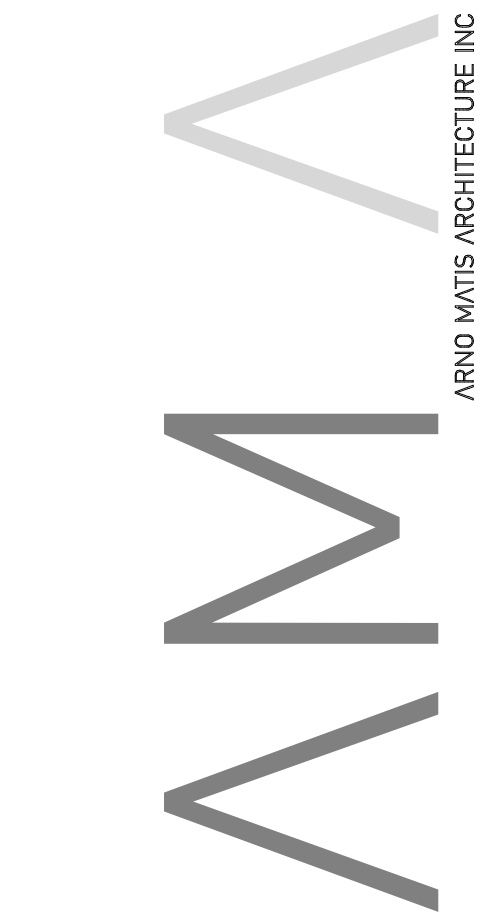
PAINTED CONCRETE DECK EDGE (BLACK AND WHITE)



FROSTED GLASS PRIVACY SCREEN (DARK GREY AND WHITE)



NO.	REVISION	DATE
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4	ENTITLEMENT PKG. REVISION	2021-03-11
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2	ENTITLEMENT PKG. REVISION	2020-04-07
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



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2143 VIOLET,  
 LOS ANGELES  
 CALIFORNIA

PROJECT  
 FACADE &  
 MATERIALS

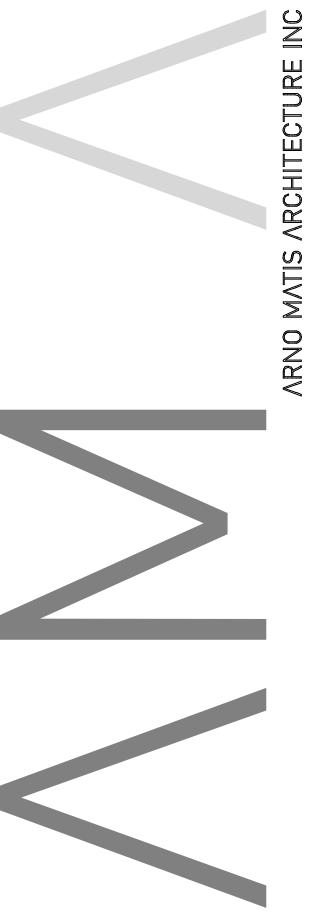
TITLE	ISSUE NO.
PROJECT NUMBER 201602	3
DRAWING NUMBER	A.119



# PLANS

2143 VIOLET STREET

5	ENTITLEMENT PKG. REVISION	2021-05-07
4	ENTITLEMENT PKG. REVISION	2021-03-11
3	ENTITLEMENT PKG. REVISION	2020-12-14
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			2021-05-07

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PROJECT  
**PLANS -  
 COVERSHEET**

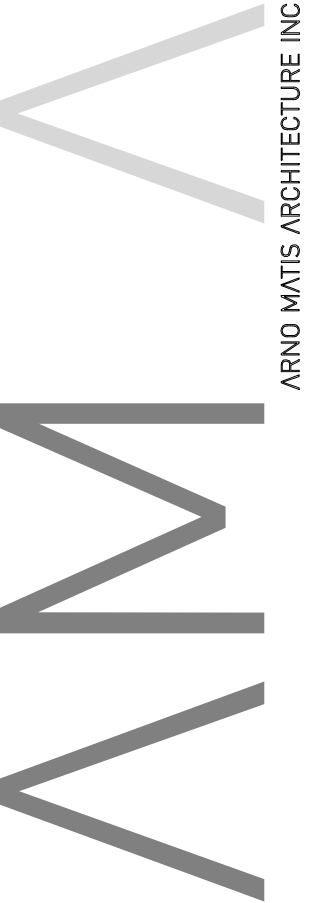
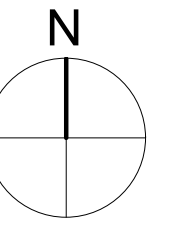
TITLE	
PROJECT NUMBER 201602	ISSUE NO. <b>3</b>
DRAWING NUMBER	<b>A.200</b>

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PARKING SCHEDULE - P6 LEVEL	
Type	Count
Standard Stall - 9'-0"x18'-0"	78
ADA Stall - 9'-0"x18'-0"	1
Compact Stall - 7'-6"x15'-0"	23
EV Standard Stall - 9'-0"x18'-0"	4
EV Van Stall - 12'-0"x18'-0"	2
EVSE Standard Stall - 9'-0"x18'-0"	26
Grand total:	134

AREA SCHEDULE - P6 LEVEL	
Name	Area
OFFICE - MEP	2807 SF
OFFICE - MEP	1507 SF
OFFICE ELEVATOR LOBBY	565 SF
PARKING	58105 SF
RES. ELEVATOR LOBBY	208 SF
RESIDENTIAL - MEP	174 SF
RESIDENTIAL - MEP	176 SF

1		ENTITLEMENT PKG. REVISION		2021-01-19
2		ISSUED FOR ENTITLEMENT PKG.		2018-09-28
3				



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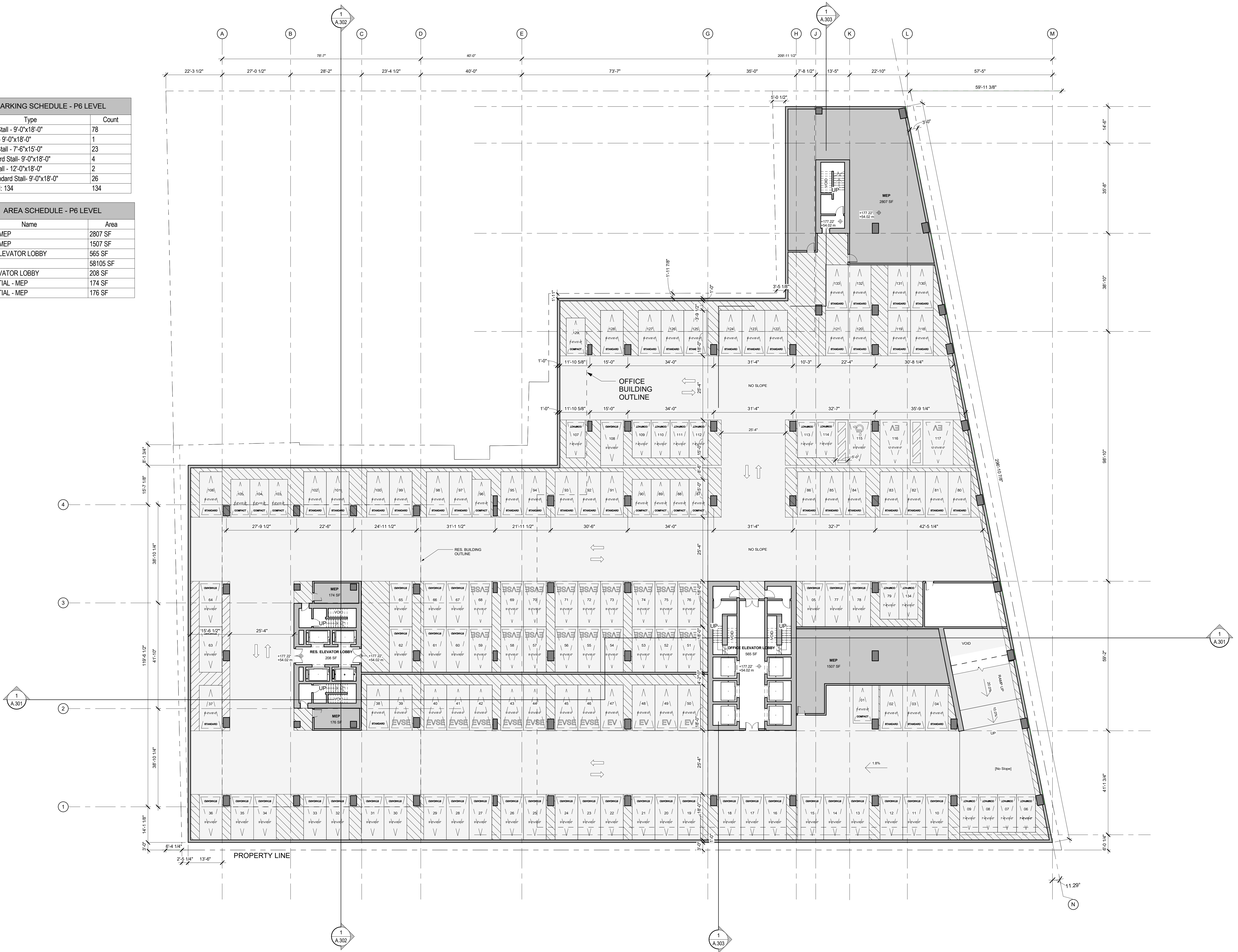
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ZB			1/16" = 1'-0"
SK			DRAWING DATE
			2020-02-19

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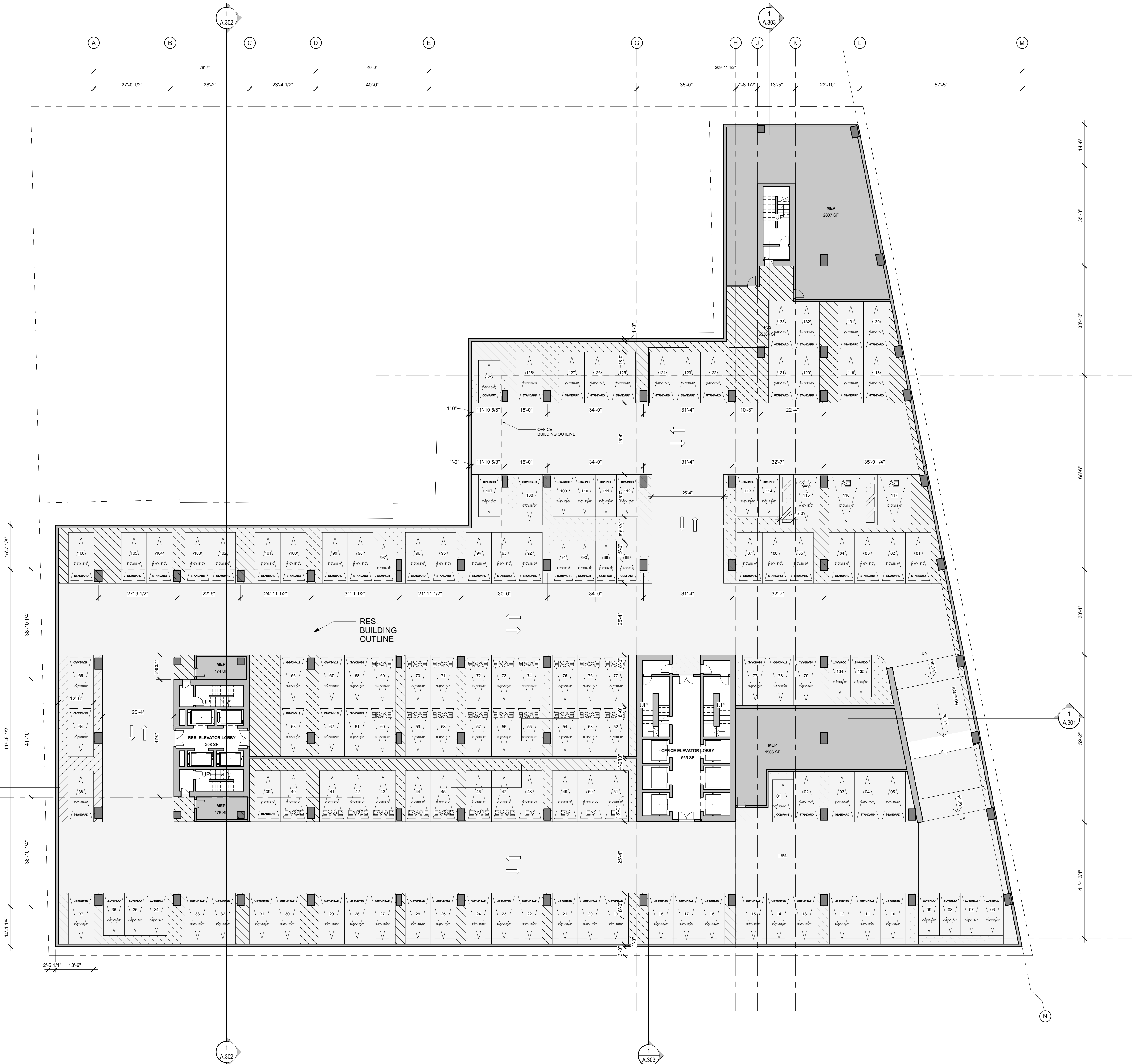
PROJECT  
**P6 PARKING PLAN**

TITLE	ISSUE NO.
PROJECT NUMBER 201802	2
DRAWING NUMBER	A.201

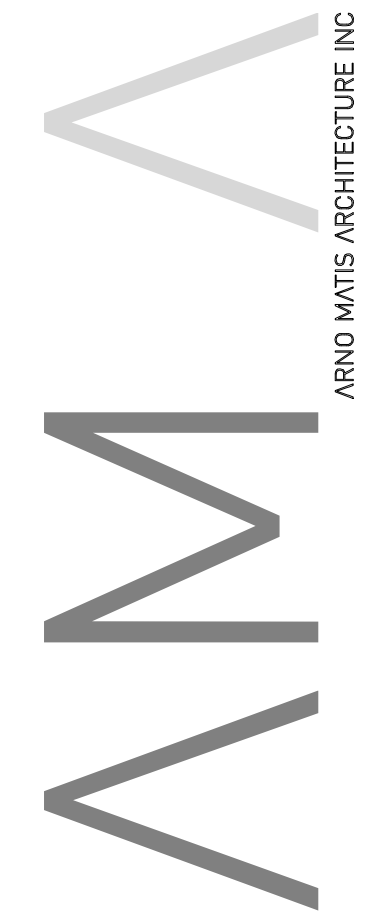


PARKING SCHEDULE P05	
Type	Count
Standard Stall - 9'-0"x18'-0"	79
ADA Stall - 9'-0"x18'-0"	1
Compact Stall - 7'-6"x15'-0"	23
EV Standard Stall- 9'-0"x18'-0"	4
EV Van Stall - 12'-0"x18'-0"	2
EVSE Standard Stall- 9'-0"x18'-0"	26
Grand total:	135

AREA SCHEDULE - P5 LEVEL	
Name	Area
OFFICE - MEP	2807 SF
OFFICE - MEP	1507 SF
OFFICE ELEVATOR LOBBY	565 SF
PARKING	58105 SF
RES. ELEVATOR LOBBY	208 SF
RESIDENTIAL - MEP	174 SF
RESIDENTIAL - MEP	176 SF



REVISIONS		
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2	ENTITLEMENT PKG. REVISION	2021-01-19
3		



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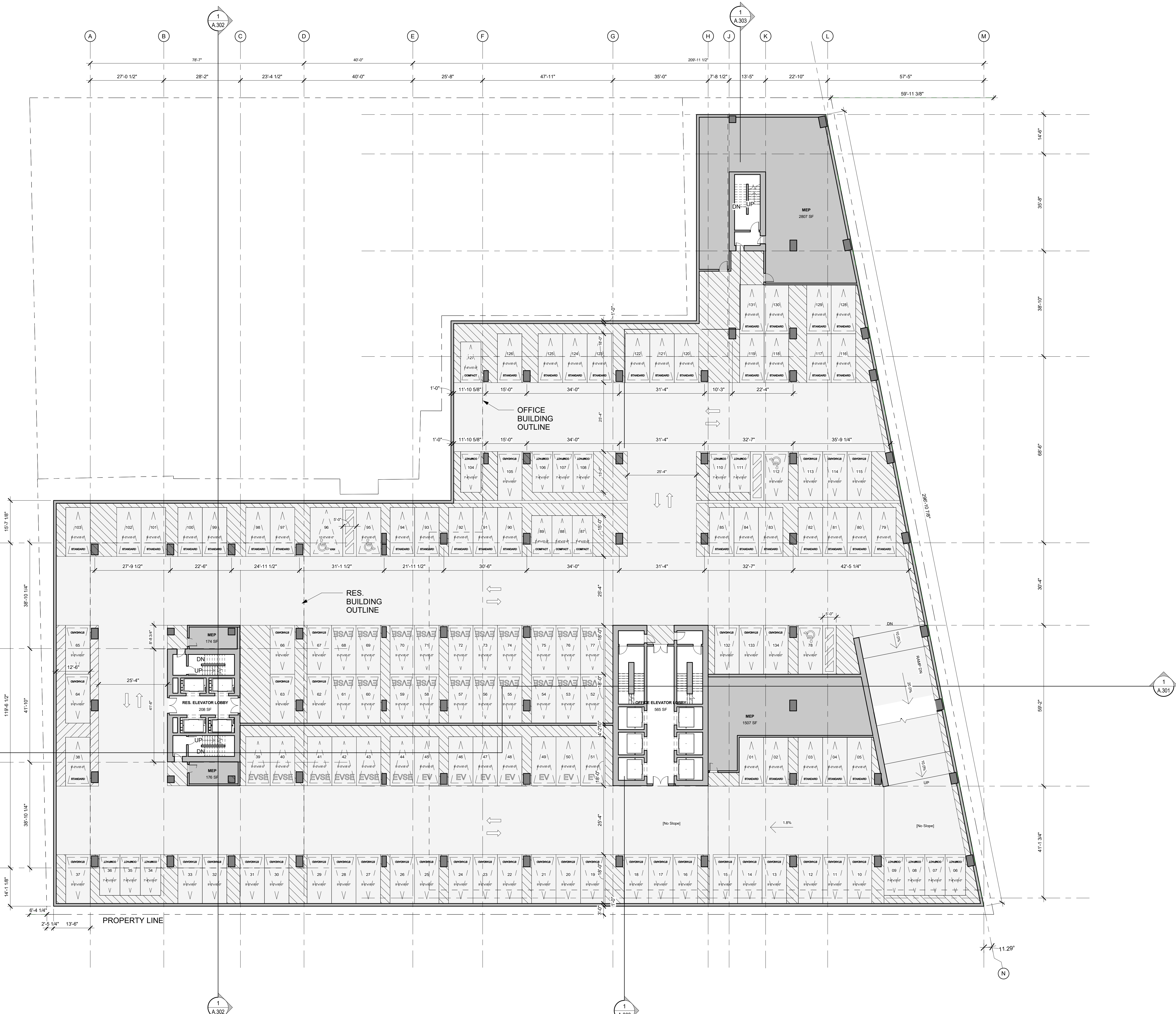
PROJECT  
**P5 PARKING PLAN**

TITLE	ISSUE NO.
PROJECT NUMBER 201802	2
DRAWING NUMBER	A.202

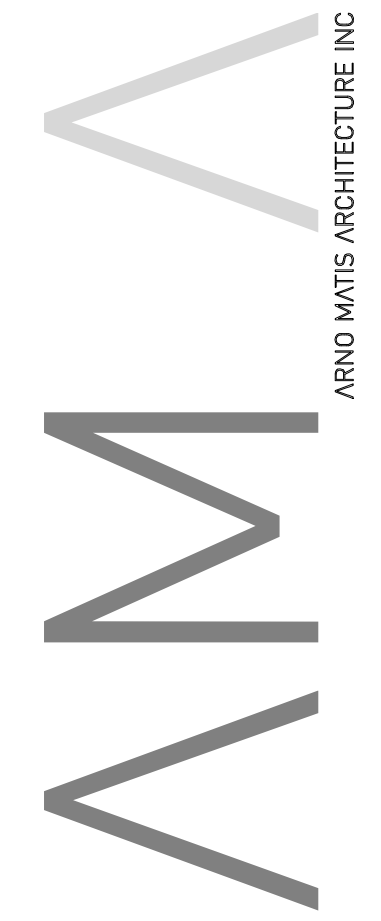
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PARKING SCHEDULE - P2-P4 TYP. LEVEL	
Type	Count
EVSE Standard Stall- 9'-0"x18'-0"	26
EV Standard Stall- 9'-0"x18'-0"	7
Compact Stall - 7'-6"x15'-0"	17
ADA Van Stall - 12'-0"x18'-0"	1
ADA Stall - 9'-0"x18'-0"	3
Standard Stall - 9'-0"x18'-0"	78
Grand total:	132

AREA SCHEDULE - P2-P4 TYP. LEVEL	
Name	Area
OFFICE - MEP	2807 SF
OFFICE - MEP	1507 SF
OFFICE ELEVATOR LOBBY	565 SF
PARKING	58106 SF
RES. ELEVATOR LOBBY	208 SF
RESIDENTIAL - MEP	174 SF
RESIDENTIAL - MEP	176 SF



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WC			1/16" = 1'-0"
SK			DRAWING DATE
			2020-04-07

**2143 VIOLET,  
 LOS ANGELES  
 CALIFORNIA**

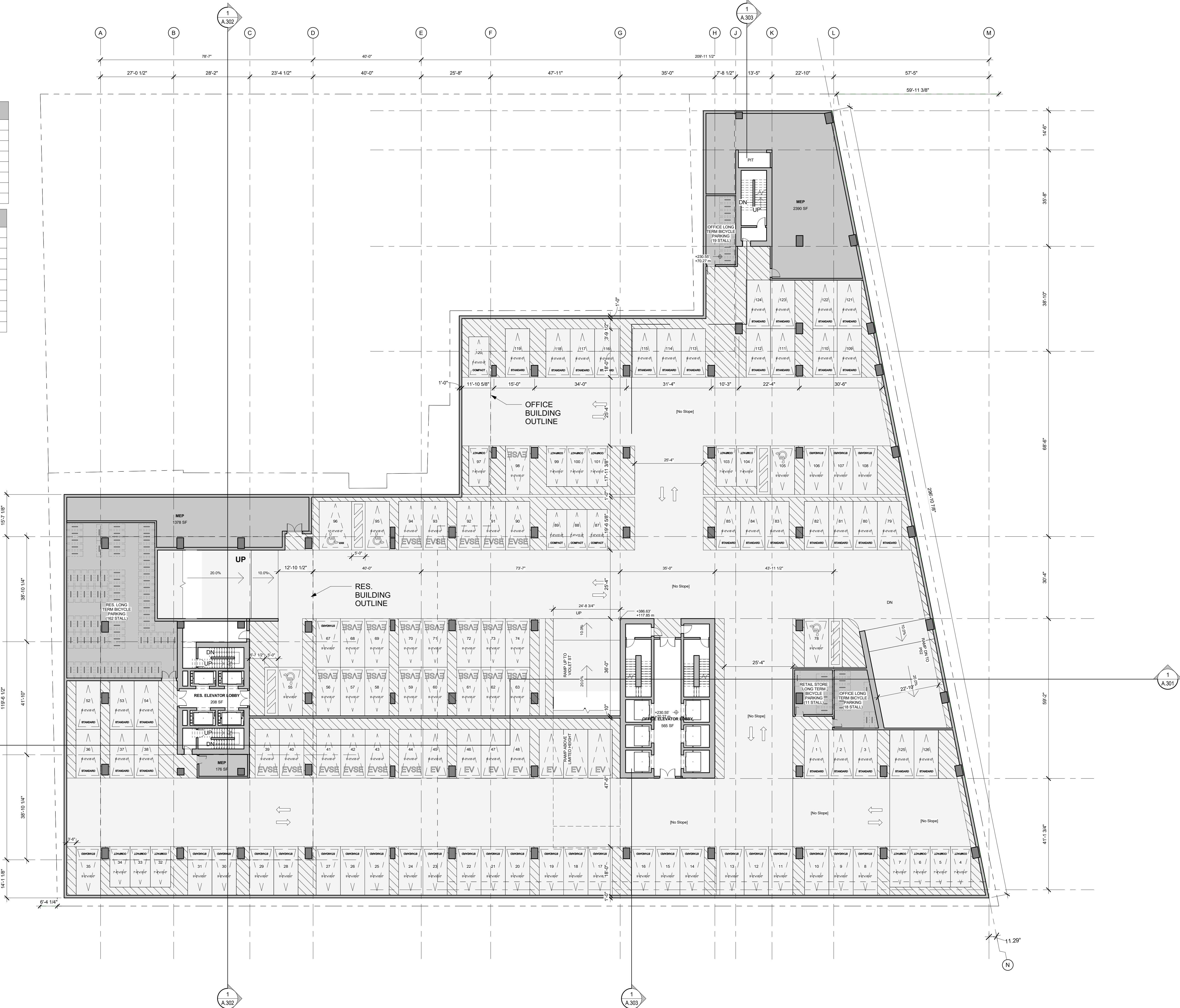
PROJECT  
**P2-P4 TYP. PARKING  
 PLAN**

TITLE	ISSUE NO.
PROJECT NUMBER 201802	2
DRAWING NUMBER	A.203

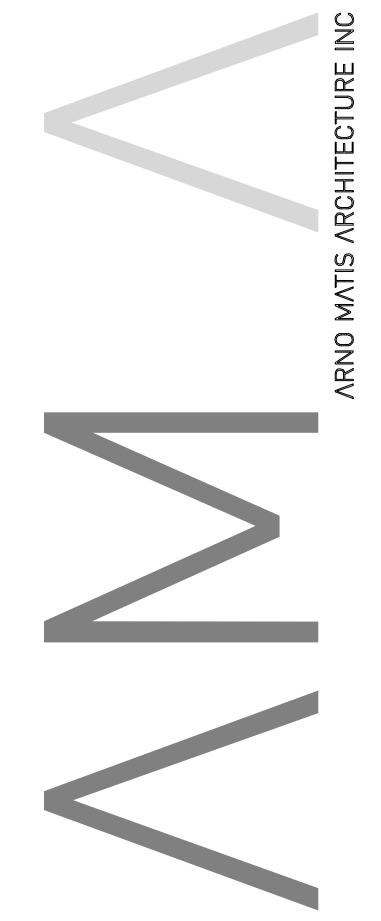
1/19/2021 14:48:00 PM  
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PARKING SCHEDULE - P1 LEVEL	
Type	Count
Standard Stall - 9'-0"x18'-0"	62
ADA Stall - 9'-0"x18'-0"	4
ADA Van Stall - 12'-0"x18'-0"	1
Compact Stall - 7'-6"x15'-0"	17
EV Standard Stall- 9'-0"x18'-0"	7
EVSE Standard Stall- 9'-0"x18'-0"	27
Grand total	118

AREA SCHEDULE - P1 LEVEL	
Name	Area
BICYCLE STORAGE	322 SF
BICYCLE STORAGE	2149 SF
BICYCLE STORAGE	598 SF
OFFICE - MEP	2390 SF
OFFICE ELEVATOR LOBBY	565 SF
PARKING P01	55706 SF
RES. ELEVATOR LOBBY	208 SF
RESIDENTIAL - MEP	1429 SF
RESIDENTIAL - MEP	176 SF



3		
2	ENTITLEMENT PKG. REVISION	2021-01-19
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



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SK			DRAWING DATE
			2020-04-07

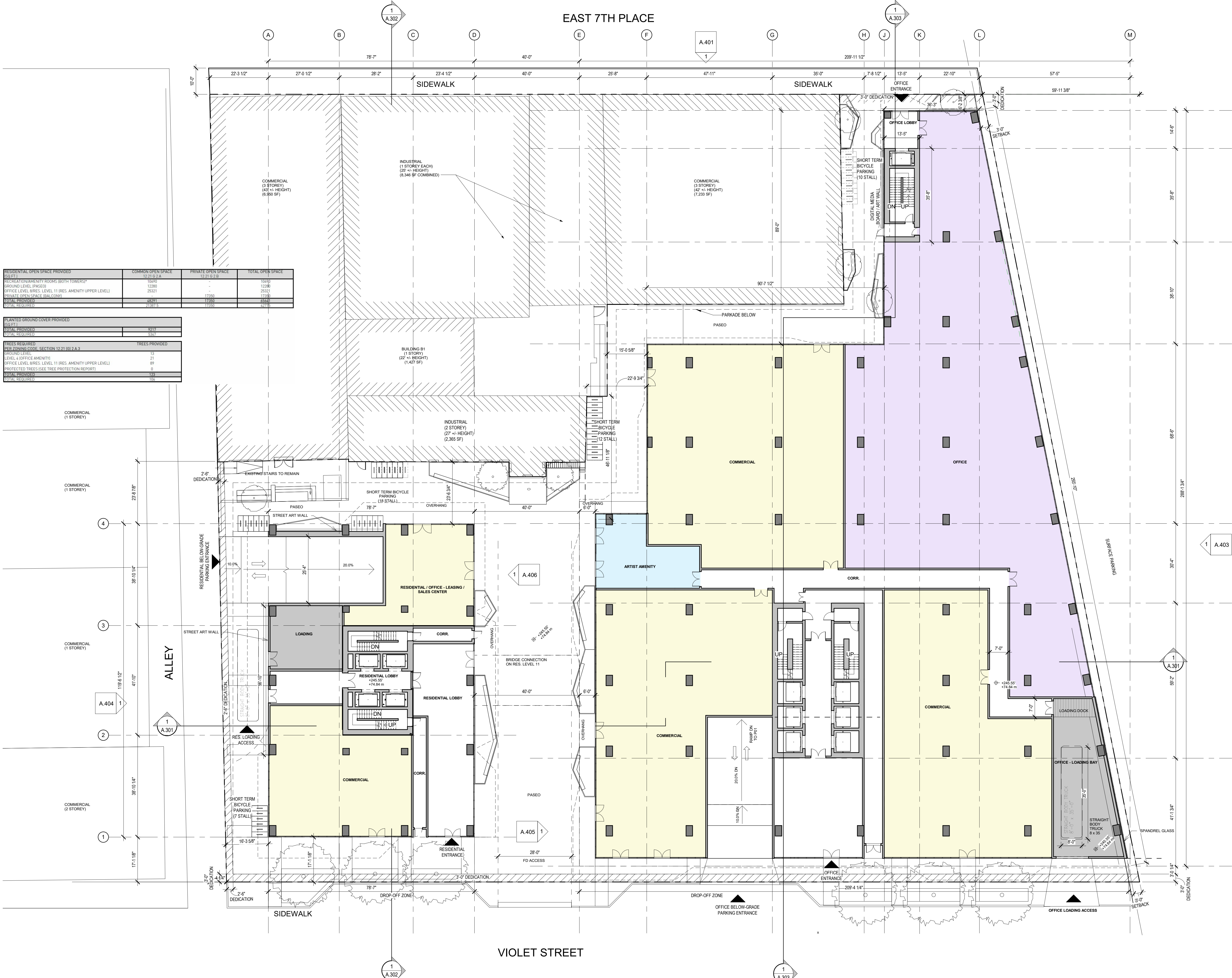
**2143 VIOLET, LOS ANGELES CALIFORNIA**

PROJECT  
**P1 PARKING PLAN**

TITLE	ISSUE NO.
PROJECT NUMBER 201802	2
DRAWING NUMBER	A.204

1/19/2021 10:49 AM C:\Users\jdoon\Documents\2018\201802\201802\_P01\_P1\_Parking\_Plan.dwg





RESIDENTIAL OPEN SPACE PROVIDED (SQ FT)	COMMON OPEN SPACE	PRIVATE OPEN SPACE	TOTAL OPEN SPACE
RECREATION/AMENITY ROOMS (BOTH TOWERS)*	12,211.0	12,211.0	24,422.0
GROUND LEVEL (PASEO)	12,280	-	12,280
OFFICE LEVEL, B/R'S, LEVEL 11 (RES. AMENITY UPPER LEVEL)	2,311	-	2,311
PRIVATE OPEN SPACE (BALCONY)	-	17,950	17,950
<b>TOTAL PROVIDED</b>	<b>26,802</b>	<b>12,211</b>	<b>39,013</b>
<b>TOTAL REQUIRED</b>	<b>11,207.5</b>	<b>12,211</b>	<b>23,418.5</b>

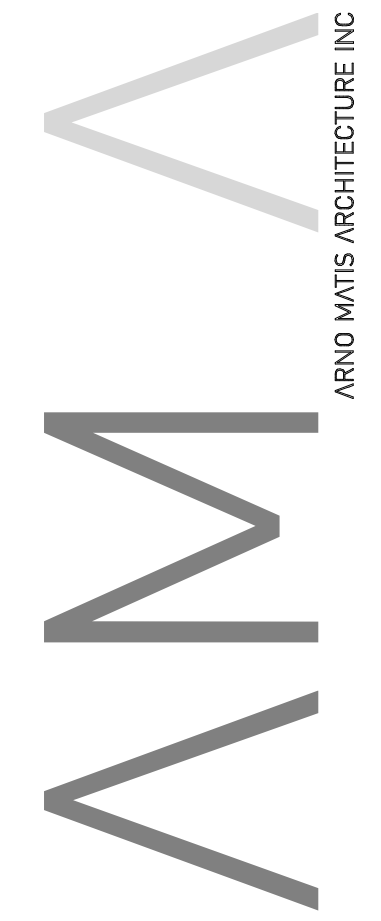
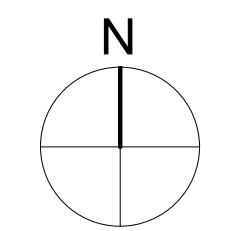
  

PLANTED GROUND COVER PROVIDED (SQ FT)	TOTAL PROVIDED	TOTAL REQUIRED
PLANTED GROUND COVER PROVIDED (SQ FT)	9,717	5,547

TREES REQUIRED	TREES PROVIDED
PLAZA ZONING EDGE, SECTION 12.21.09 2.A.3	13
LEVEL 4 OFFICE AMENITY	21
OFFICE LEVEL, B/R'S, LEVEL 11 (RES. AMENITY UPPER LEVEL)	89
PROTECTED TREES (SEE TREE PROTECTION REPORT)	0
<b>TOTAL PROVIDED</b>	<b>123</b>
<b>TOTAL REQUIRED</b>	<b>108</b>

NO.	DESCRIPTION	DATE
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28
2	ENTITLEMENT PKG. REVISION	2020-04-07
3	ENTITLEMENT PKG. REVISION	2021-03-11



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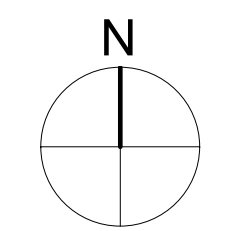
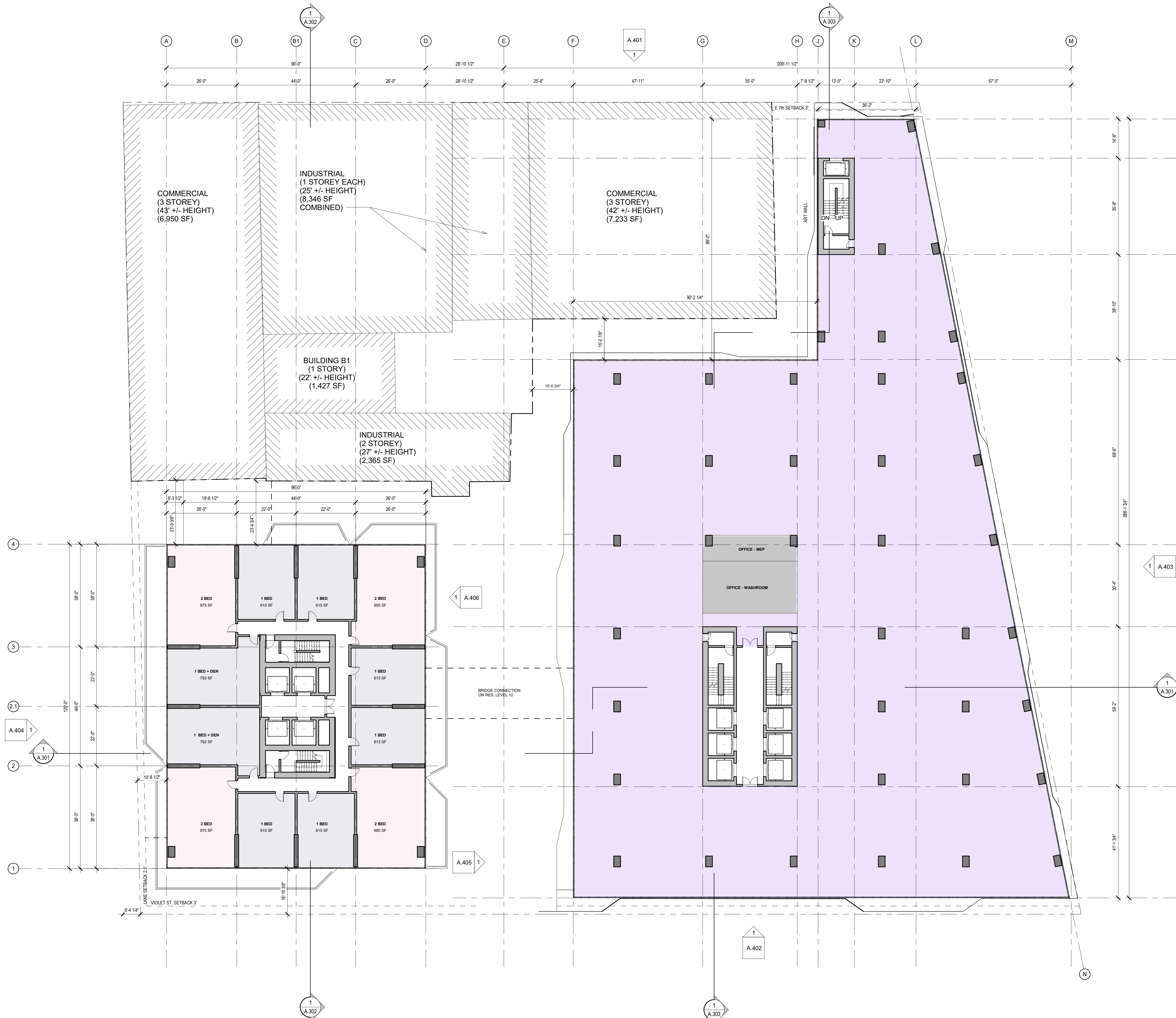
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ZB			DRAWING DATE
YL			2021-03-04

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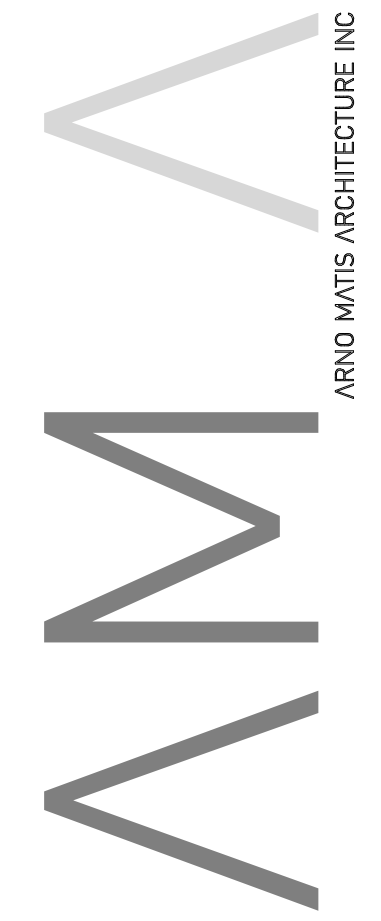
PROJECT  
**LEVEL 1 (GROUND) PLAN**

TITLE	ISSUE NO.
PROJECT NUMBER 201802	<b>3</b>
DRAWING NUMBER	<b>A.205</b>

3/11/2021 10:59 AM



3	ENTITLEMENT PKG. REVISION	2021-05-07
2	ENTITLEMENT PKG. REVISION	2020-03-16
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



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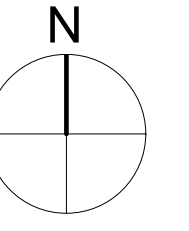
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ZB			1/16" = 1'-0"
			DRAWING DATE
			2020-02-19

**2143 VIOLET,  
 LOS ANGELES  
 CALIFORNIA**

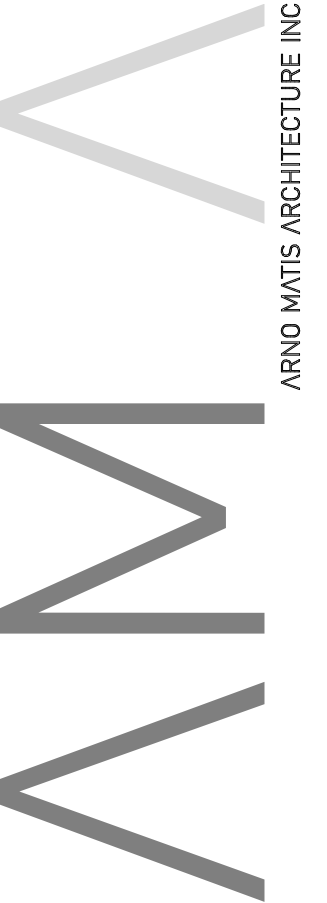
PROJECT  
**RES. BLDG. LEVEL  
 2-4 / OFFICE BLDG.  
 LEVEL 2-3 TYP.  
 PLAN**

PROJECT NUMBER 201802	ISSUE NO. <b>3</b>
DRAWING NUMBER <b>A.206</b>	

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4	ENTITLEMENT PKG. REVISION	2021-05-07
3	ENTITLEMENT PKG. REVISION	2020-12-14
2	ENTITLEMENT PKG. REVISION	2020-04-07
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



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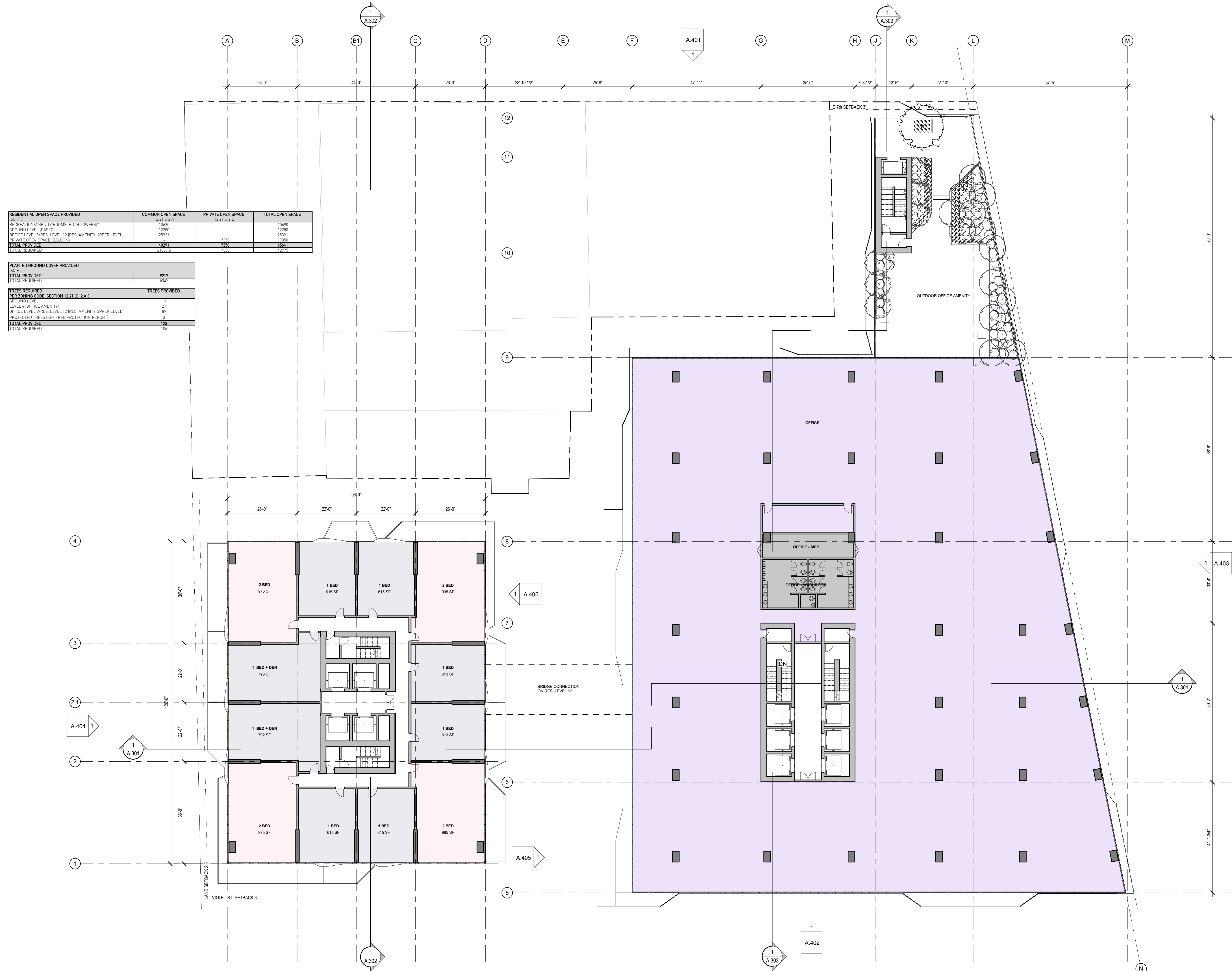
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YL			DRAWING DATE
			2020-04-07

**2143 VIOLET,  
 LOS ANGELES  
 CALIFORNIA**

PROJECT  
**RES. BLDG. LEVEL 5  
 / OFFICE BLDG.  
 LEVEL 4 PLAN**

TITLE	ISSUE NO.
PROJECT NUMBER 201802	<b>4</b>
DRAWING NUMBER	<b>A.207</b>

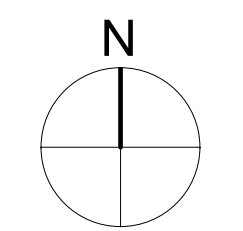
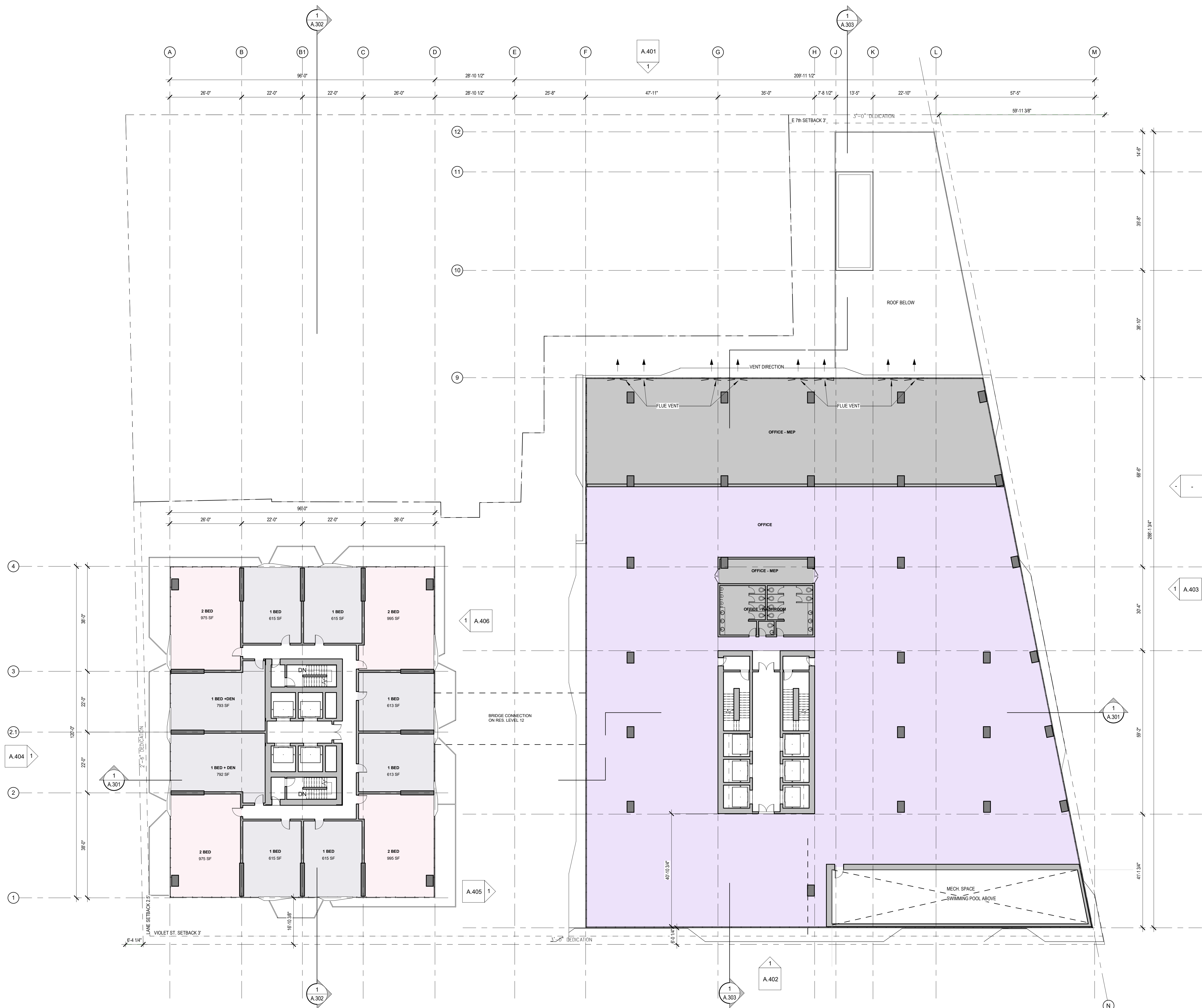
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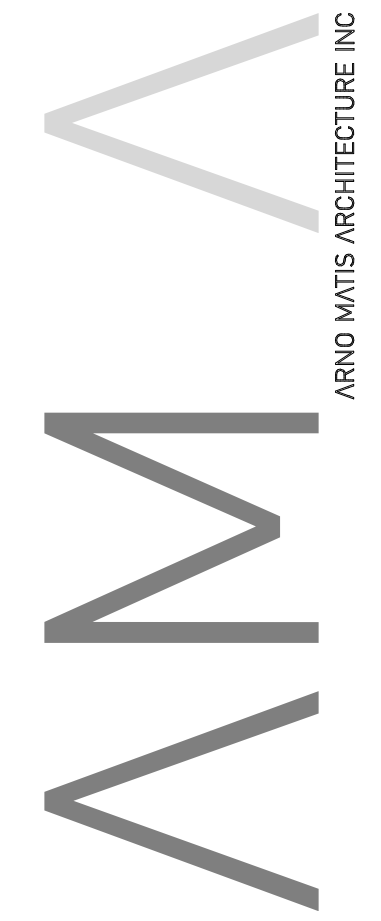
RESIDENTIAL OPEN SPACE PROVIDED (SQ. FT.)	COMMON OPEN SPACE	PRIVATE OPEN SPACE	TOTAL OPEN SPACE
RECREATION/AMENITY ROOMS (BOTH TOWERS)*	12,211 G 2.A	12,211 G 2.B	12,280
GROUND LEVEL (PASEO)	12,280	-	12,280
OFFICE LEVEL 9 (RES. AMENITY UPPER LEVEL)	25,321	-	25,321
PRIVATE OPEN SPACE (BALCONY)	-	17,350	17,350
<b>TOTAL PROVIDED</b>	<b>48,211</b>	<b>17,350</b>	<b>65,561</b>
TOTAL REQUIRED	21,387.5	17,350	42,737.5

PLANTED GROUND COVER PROVIDED (SQ. FT.)	TOTAL PROVIDED	TOTAL REQUIRED
	9,217	3547

TREES REQUIRED PER ZONING CODE SECTION 12.21 (G) 2.A.3	TREES PROVIDED
GROUND LEVEL	13
LEVEL 4 (OFFICE AMENITY)	21
OFFICE LEVEL 9 (RES. AMENITY UPPER LEVEL)	89
PROTECTED TREES (SEE TREE PROTECTION REPORT)	0
<b>TOTAL PROVIDED</b>	<b>123</b>
TOTAL REQUIRED	106



3	ENTITLEMENT PKG. REVISION	2021-05-07
2	ENTITLEMENT PKG. REVISION	2020-03-18
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



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			DRAWING DATE
			2020-02-19

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PROJECT  
**RES. BLDG. LEVEL 6-11 / OFFICE BLDG. LEVEL 5-8 TYP. PLAN**

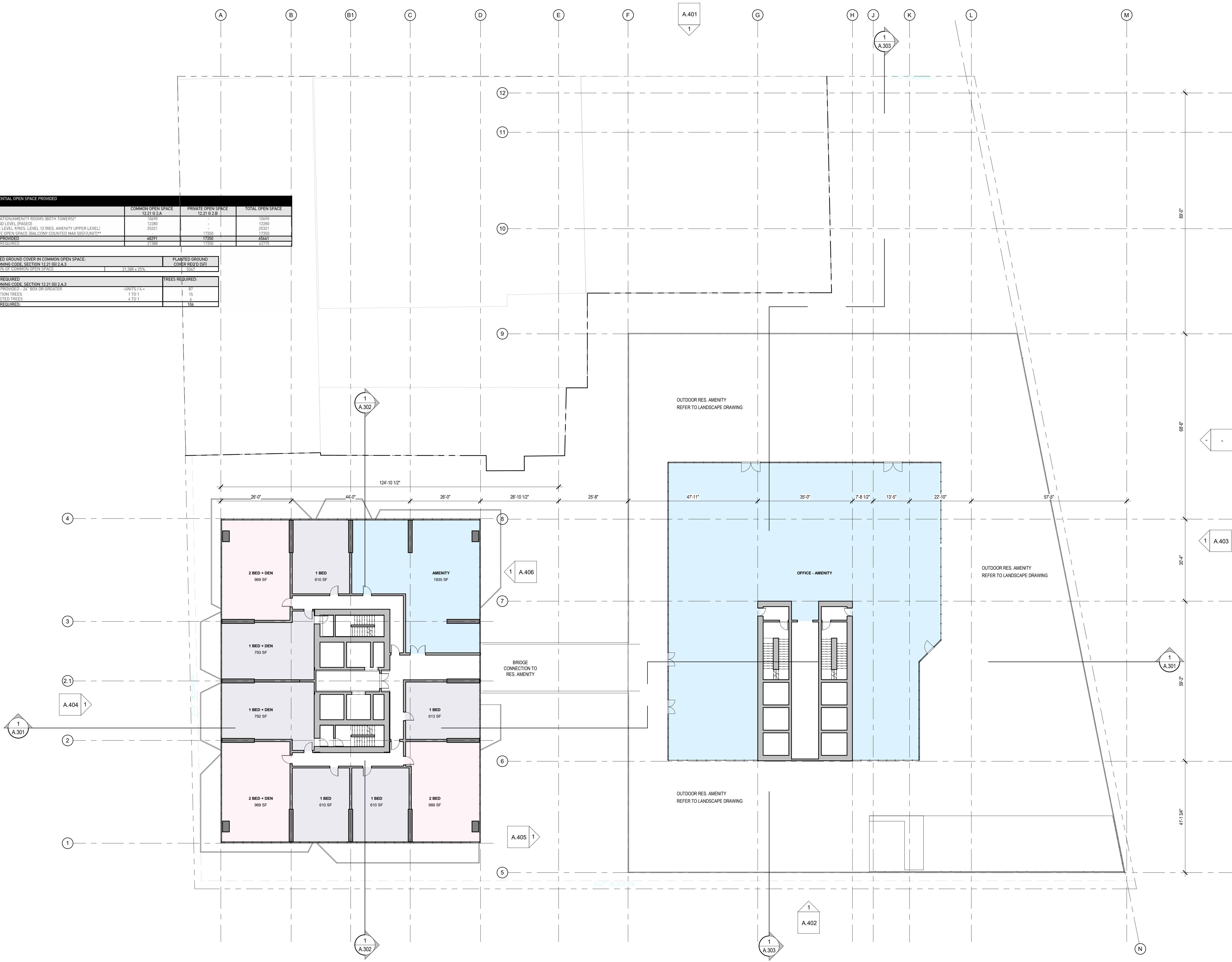
PROJECT NUMBER	ISSUE NO.
201802	<b>3</b>
DRAWING NUMBER	<b>A.208</b>

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 01/14/2021 12:24 PM  
 User: j

RESIDENTIAL OPEN SPACE PROVIDED			
	COMMON OPEN SPACE 12.21 (2.2A)	PRIVATE OPEN SPACE 12.21 (2.2B)	TOTAL OPEN SPACE
RECREATION/AMENITY ROOMS (BOTH TOWERS)*	10690	-	10690
GROUND LEVEL (PARKS)	12388	-	12388
OFFICE LEVEL 9/RES. LEVEL 12 (RES. AMENITY UPPER LEVEL)	25321	-	25321
PRIVATE OPEN SPACE (BALCONY COUNTED MAX DISFURNIT)**	-	17350	17350
<b>TOTAL PROVIDED</b>	<b>48399</b>	<b>17350</b>	<b>65749</b>
TOTAL REQUIRED	21388	17350	42738

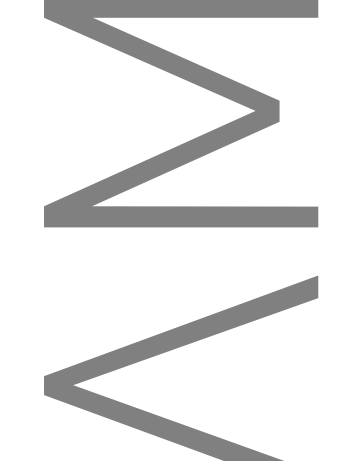
PLANTED GROUND COVER IN COMMON OPEN SPACE: PER ZONING CODE SECTION 12.21 (B) 2.A.3		PLANTED GROUND COVER (REQD. DEF)
MIN. % OF COMMON OPEN SPACE	21,388 x 25%	5,347

TREES REQUIRED PER ZONING CODE SECTION 12.21 (G) 2.A.3		TREES REQUIRED:
TREES PROVIDED "A" BOX OR GREATER	UNITS / 4'	87
MITIGATION TREES	1 TO 1	15
PROTECTED TREES	4 TO 1	6
<b>TOTAL REQUIRED:</b>		<b>108</b>



NO.	DESCRIPTION	DATE
4	ENTITLEMENT PKG. REVISION	2021-05-07
2	ENTITLEMENT PKG. REVISION	2020-04-07
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28

ARNO MATIS ARCHITECTURE INC



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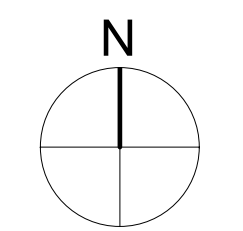
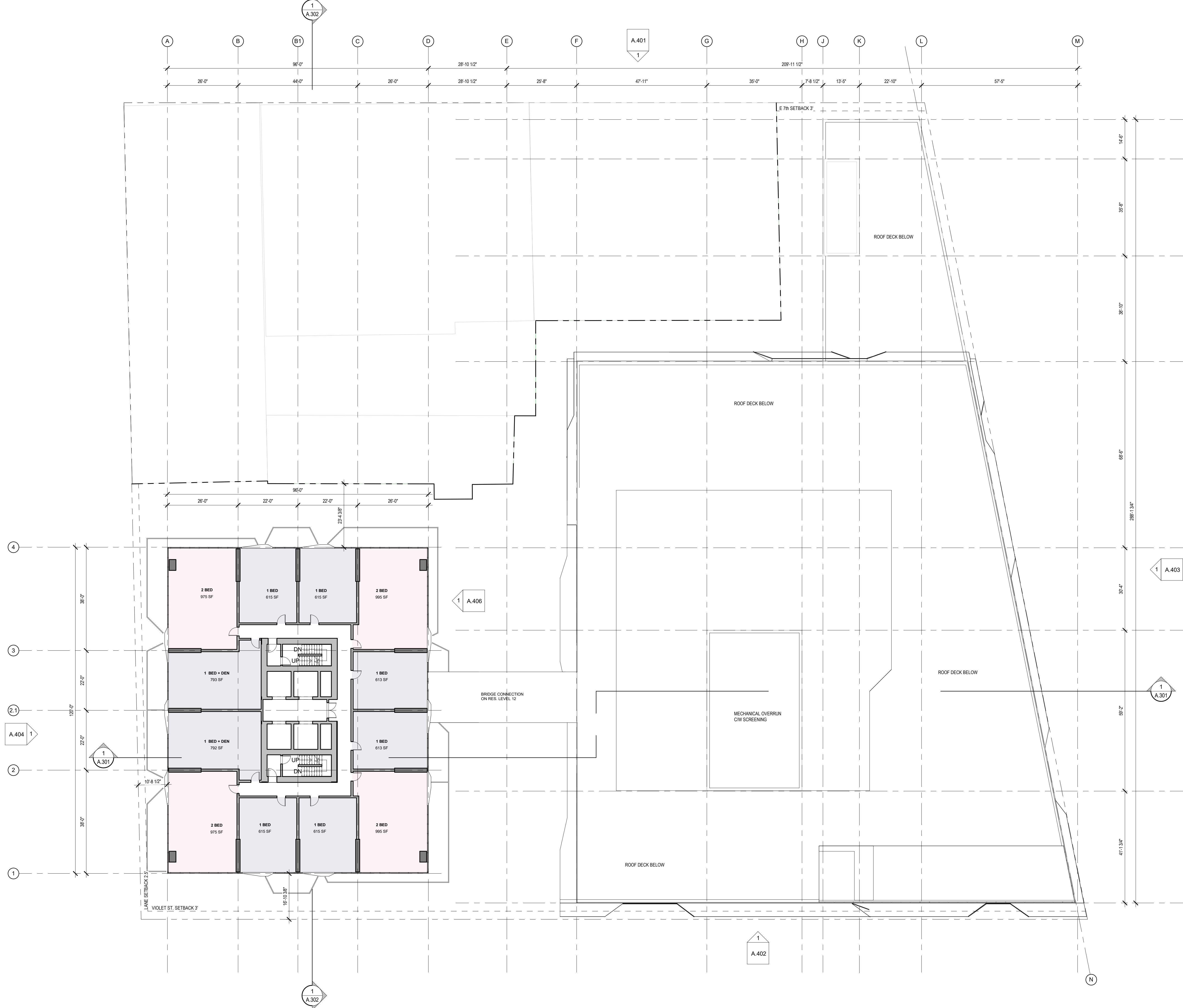
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YL			DRAWING DATE
			2020-12-14

**2143 VIOLET,  
 LOS ANGELES  
 CALIFORNIA**

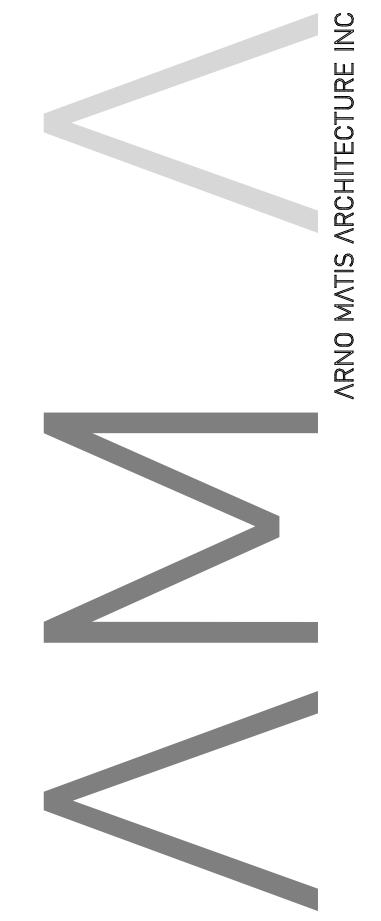
PROJECT  
**RES. AMENITY  
 UPPER LEVEL (RES.  
 LEVEL 12 / OFFICE  
 LEVEL 9)**  
 TITLE  
 PROJECT NUMBER  
 201802  
 DRAWING NUMBER  
**A.209**

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3	ENTITLEMENT PKG. REVISION	2021-05-07
2	ENTITLEMENT PKG. REVISION	2020-03-16
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



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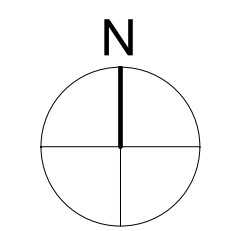
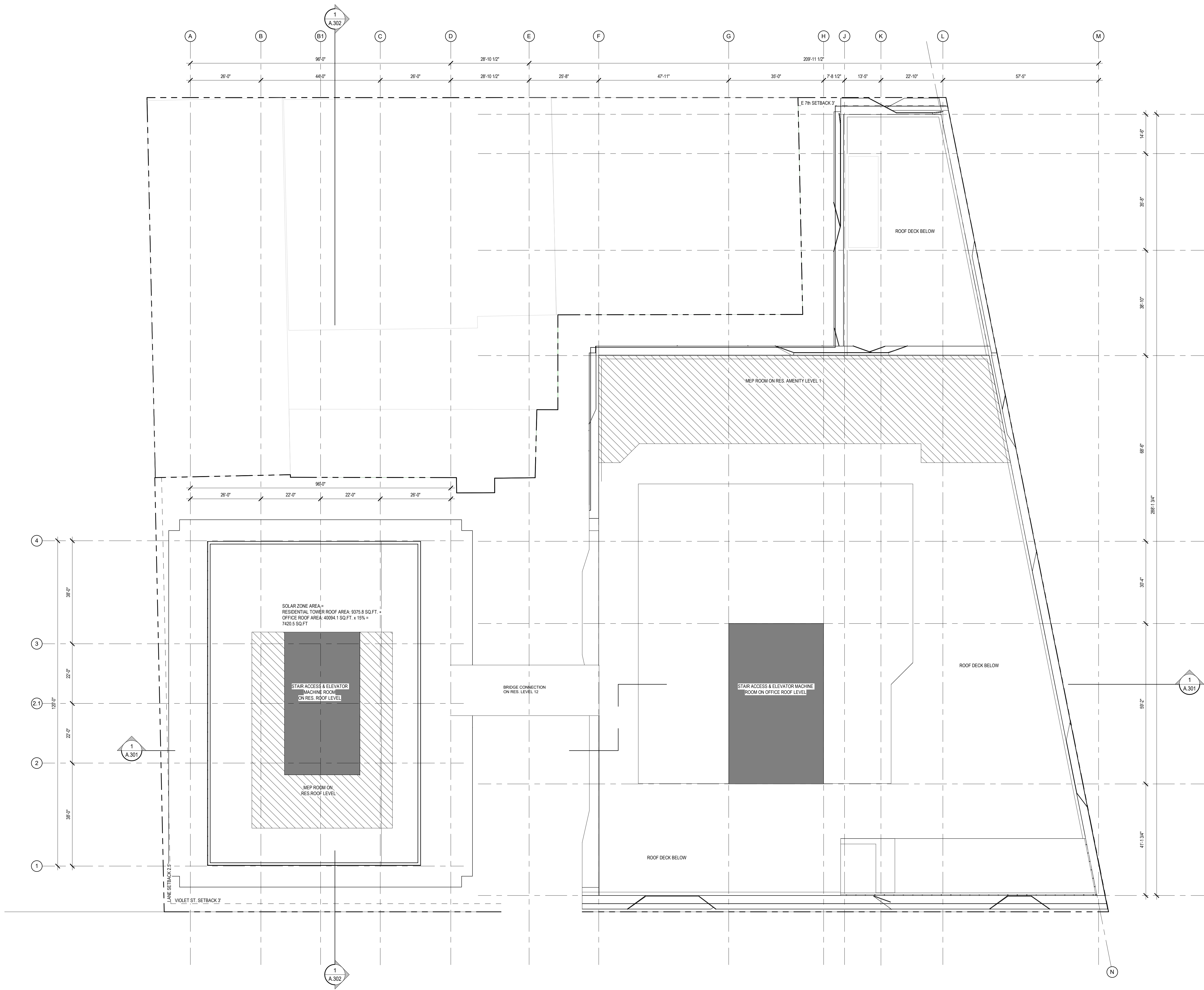
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ZB			1/16" = 1'-0"
			DRAWING DATE
			2020-02-19

**2143 VIOLET,  
 LOS ANGELES  
 CALIFORNIA**

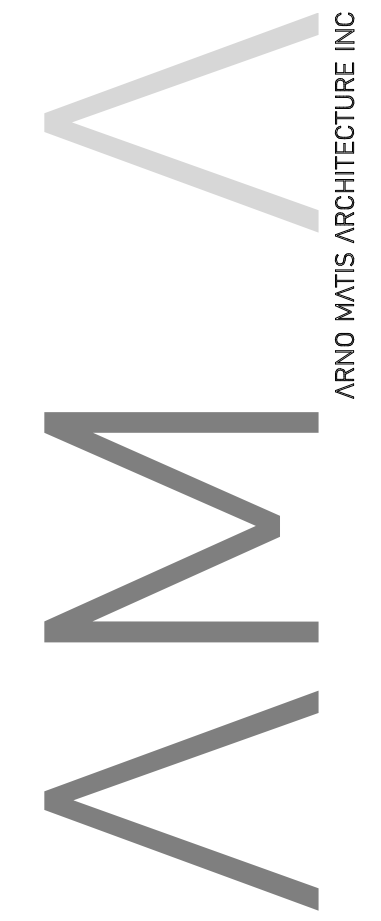
PROJECT  
**RES. BLDG. LEVEL  
 15-30 TYP. PLAN**

TITLE	ISSUE NO.
PROJECT NUMBER 201802	<b>3</b>
DRAWING NUMBER	<b>A.213</b>

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 Design: J. Maud



2	ENTITLEMENT PKG. REVISION	2021-05-07
2	ENTITLEMENT PKG. REVISION	2021-03-16
1	ISSUED FOR ENTITLEMENT PKG.	2016-09-28



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			DRAWING DATE
			2020-02-19

**2143 VIOLET, LOS ANGELES CALIFORNIA**

PROJECT  
**ROOF PLAN**

TITLE	ISSUE NO.
PROJECT NUMBER 201802	<b>3</b>
DRAWING NUMBER	<b>A.213</b>

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# SECTIONS

2143 VIOLET STREET

5	ENTITLEMENT PKG. REVISION	2021-05-07
4	ENTITLEMENT PKG. REVISION	2021-03-11
3	ENTITLEMENT PKG. REVISION	2020-12-14
2	ENTITLEMENT PKG. REVISION	2020-03-16
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28

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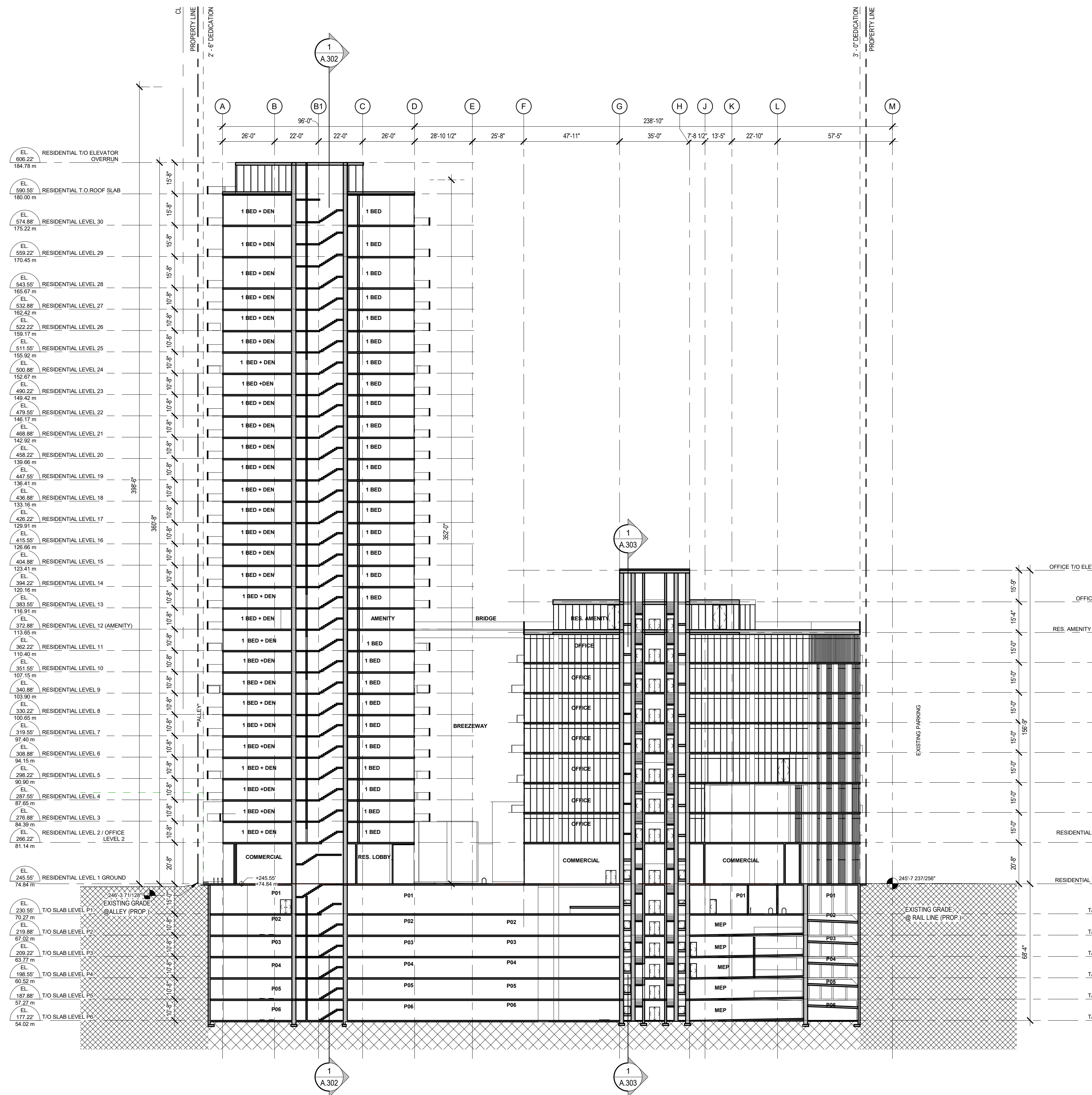
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2143 VIOLET,  
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PROJECT  
 SECTIONS -  
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TITLE	
PROJECT NUMBER 201602	ISSUE NO. <b>3</b>
DRAWING NUMBER	<b>A.300</b>

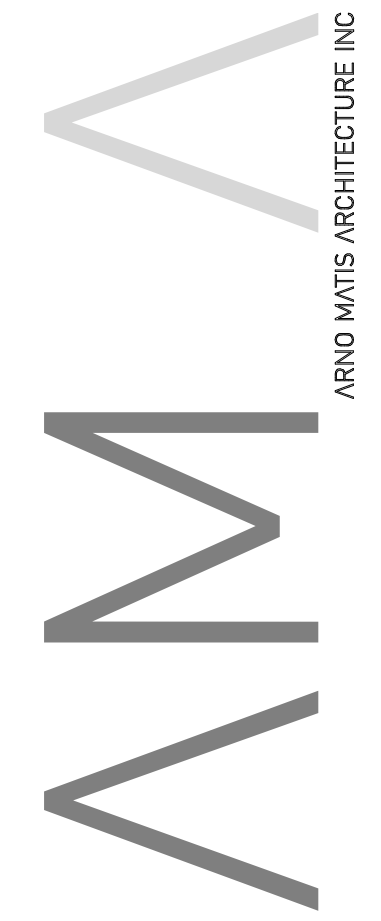
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EL. 184.78 m	RESIDENTIAL T/O ELEVATOR OVERRUN
EL. 180.00 m	RESIDENTIAL T/O ROOF SLAB
EL. 175.22 m	RESIDENTIAL LEVEL 30
EL. 170.45 m	RESIDENTIAL LEVEL 29
EL. 165.67 m	RESIDENTIAL LEVEL 28
EL. 162.42 m	RESIDENTIAL LEVEL 27
EL. 159.17 m	RESIDENTIAL LEVEL 26
EL. 155.92 m	RESIDENTIAL LEVEL 25
EL. 152.67 m	RESIDENTIAL LEVEL 24
EL. 149.42 m	RESIDENTIAL LEVEL 23
EL. 146.17 m	RESIDENTIAL LEVEL 22
EL. 142.92 m	RESIDENTIAL LEVEL 21
EL. 139.66 m	RESIDENTIAL LEVEL 20
EL. 136.41 m	RESIDENTIAL LEVEL 19
EL. 133.16 m	RESIDENTIAL LEVEL 18
EL. 129.91 m	RESIDENTIAL LEVEL 17
EL. 126.66 m	RESIDENTIAL LEVEL 16
EL. 123.41 m	RESIDENTIAL LEVEL 15
EL. 120.16 m	RESIDENTIAL LEVEL 14
EL. 116.91 m	RESIDENTIAL LEVEL 13
EL. 113.66 m	RESIDENTIAL LEVEL 12 (AMENITY)
EL. 110.41 m	RESIDENTIAL LEVEL 11
EL. 107.16 m	RESIDENTIAL LEVEL 10
EL. 103.90 m	RESIDENTIAL LEVEL 9
EL. 100.65 m	RESIDENTIAL LEVEL 8
EL. 97.40 m	RESIDENTIAL LEVEL 7
EL. 94.15 m	RESIDENTIAL LEVEL 6
EL. 90.90 m	RESIDENTIAL LEVEL 5
EL. 87.65 m	RESIDENTIAL LEVEL 4
EL. 84.40 m	RESIDENTIAL LEVEL 3
EL. 81.14 m	RESIDENTIAL LEVEL 2 / OFFICE LEVEL 2
EL. 77.89 m	RESIDENTIAL LEVEL 1 GROUND
EL. 74.64 m	T/O SLAB LEVEL P1 @ ALLEY (PROP)
EL. 71.39 m	T/O SLAB LEVEL P2
EL. 68.14 m	T/O SLAB LEVEL P3
EL. 64.89 m	T/O SLAB LEVEL P4
EL. 61.64 m	T/O SLAB LEVEL P5
EL. 58.39 m	T/O SLAB LEVEL P6

EL. 122.62 m	OFFICE T/O ELEVATOR OVERRUN
EL. 117.82 m	OFFICE T/O ROOF SLAB
EL. 113.15 m	RES. AMENITY (OFFICE LEVEL 9)
EL. 108.51 m	OFFICE LEVEL 8
EL. 104.00 m	OFFICE LEVEL 7
EL. 99.43 m	OFFICE LEVEL 6
EL. 94.86 m	OFFICE LEVEL 5
EL. 90.29 m	OFFICE LEVEL 4
EL. 85.71 m	OFFICE LEVEL 3
EL. 81.14 m	RESIDENTIAL LEVEL 2 / OFFICE LEVEL 2
EL. 76.57 m	RESIDENTIAL LEVEL 1 GROUND
EL. 72.00 m	T/O SLAB LEVEL P1
EL. 67.43 m	T/O SLAB LEVEL P2
EL. 62.86 m	T/O SLAB LEVEL P3
EL. 58.29 m	T/O SLAB LEVEL P4
EL. 53.72 m	T/O SLAB LEVEL P5
EL. 49.15 m	T/O SLAB LEVEL P6

4	ENTITLEMENT PKG. REVISION	2021-05-07
3	ENTITLEMENT PKG. REVISION	2020-03-16
2	ENTITLEMENT PKG. REVISION	2020-03-16
1	ISSUED FOR ENTITLEMENT PKG.	2019-09-28



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WC			1" = 3/8" 0"
ZB			DRAWING DATE
YL			2021-05-07

**2143 VIOLET, LOS ANGELES CALIFORNIA**

PROJECT  
**SECTION A-A**

TITLE	PROJECT NUMBER	ISSUE NO.
	201802	4
DRAWING NUMBER		A.301

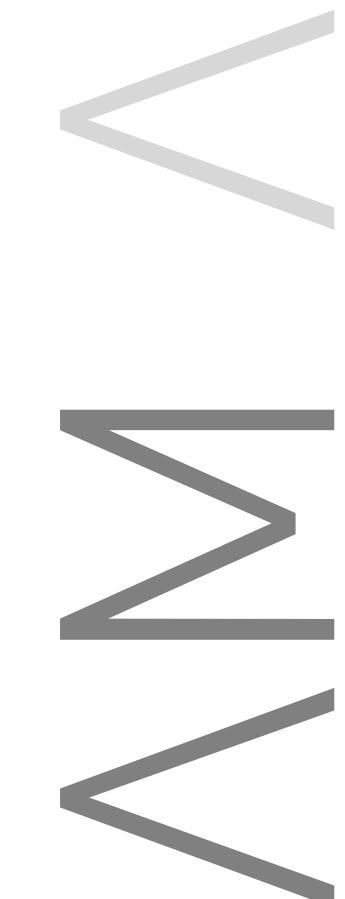
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# ELEVATIONS

2143 VIOLET STREET

NO.	DESCRIPTION	DATE
5	ENTITLEMENT PKG. REVISION	2021-05-07
4	ENTITLEMENT PKG. REVISION	2021-03-11
3	ENTITLEMENT PKG. REVISION	2020-12-14
2	ENTITLEMENT PKG. REVISION	2020-03-16
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



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1 604.708.0188 F 604.454.9481 [arnomat@architect.com](mailto:arnomat@architect.com)

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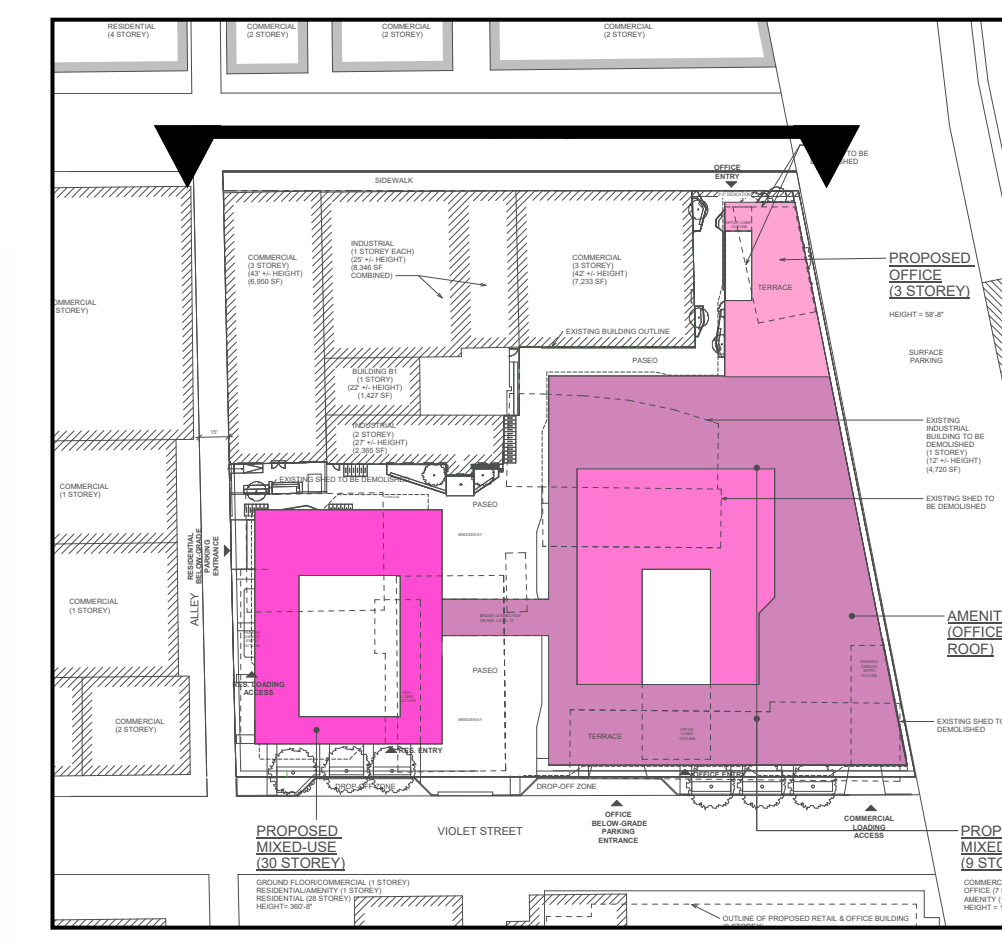
DRAWN BY	CHK	INT	SCALE
WC			
			DRAWING DATE
			2021-05-07

2143 VIOLET,  
LOS ANGELES  
CALIFORNIA

PROJECT  
ELEVATIONS -  
COVERSHEET

TITLE	ISSUE NO.
PROJECT NUMBER 201602	3
DRAWING NUMBER	A.400

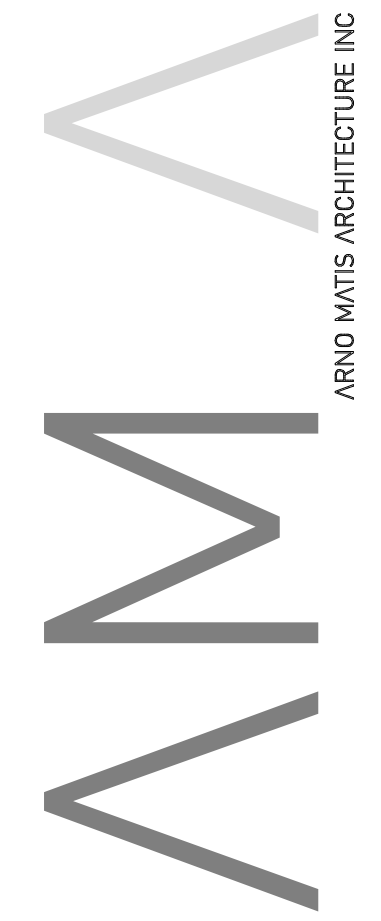
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**MATERIAL LEGEND**

- ① WHITE FROSTED GLASS
- ② DARK GREY FROSTED GLASS
- ③ NON-COMBUSTIBLE CLADDING COMPONENT
- ④ ALUMINUM FRAME VERTICAL 2SSG CURTAIN WALL SYSTEM
- ⑤ ROOFTOP ENCLOSURE
- ⑥ ART WALL
- ⑦ GLASS GUARDRAIL AT BALCONY

7	ISSUED FOR ENTITLEMENT PKG. REVISION	2021-05-07
2	ENTITLEMENT PKG. REVISION	2020-03-16
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



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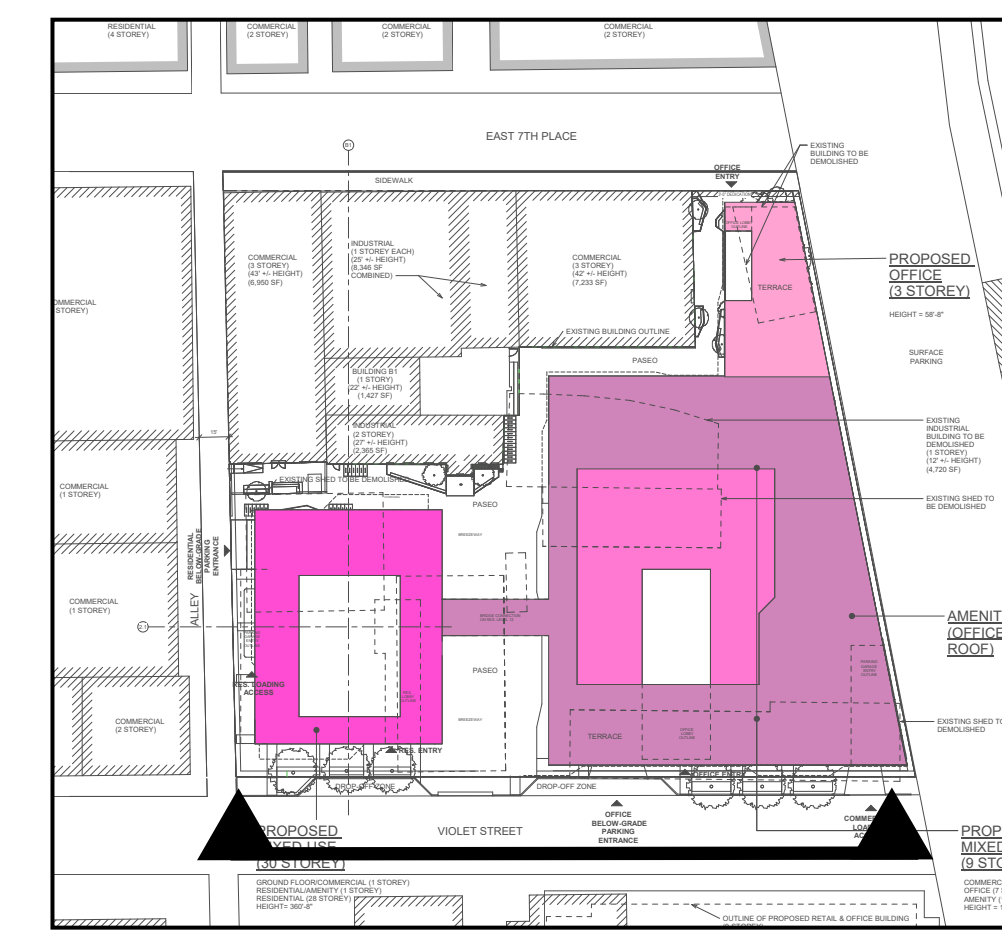
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WC			As Indicated
ID			DRAWING DATE
			2021-05-07

**2143 VIOLET,  
 LOS ANGELES  
 CALIFORNIA**

PROJECT  
**NORTH ELEVATION**

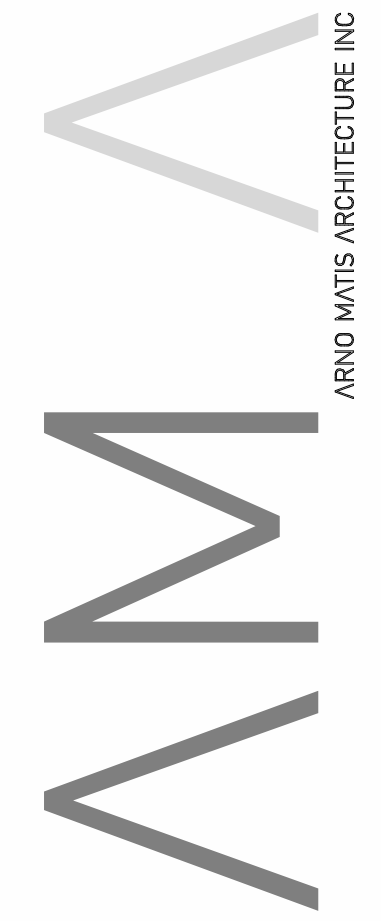
TITLE	ISSUE NO.
PROJECT NUMBER 201802	4
DRAWING NUMBER	A.401

ESTIMATE ONLY FOR DISCUSSION PURPOSES. BASED ON 3D DATA EXTRACTED FROM GOOGLE EARTH. ACTUAL SURVEY MAY DIFFER.



- MATERIAL LEGEND**
- ① WHITE FROSTED GLASS
  - ② DARK GREY FROSTED GLASS
  - ③ NON-COMBUSTIBLE CLADDING COMPONENT
  - ④ ALUMINUM FRAME VERTICAL 2SSG CURTAIN WALL SYSTEM
  - ⑤ ROOFTOP ENCLOSURE
  - ⑥ ART WALL
  - ⑦ GLASS GUARDRAIL AT BALCONY

NO.	DESCRIPTION	DATE
1	ISSUED FOR ENTITLEMENT PKG.	2020-03-16
2	ENTITLEMENT PKG. REVISION	2020-03-16
3	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



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WC			As indicated
ID			DRAWING DATE
			2020-12-14

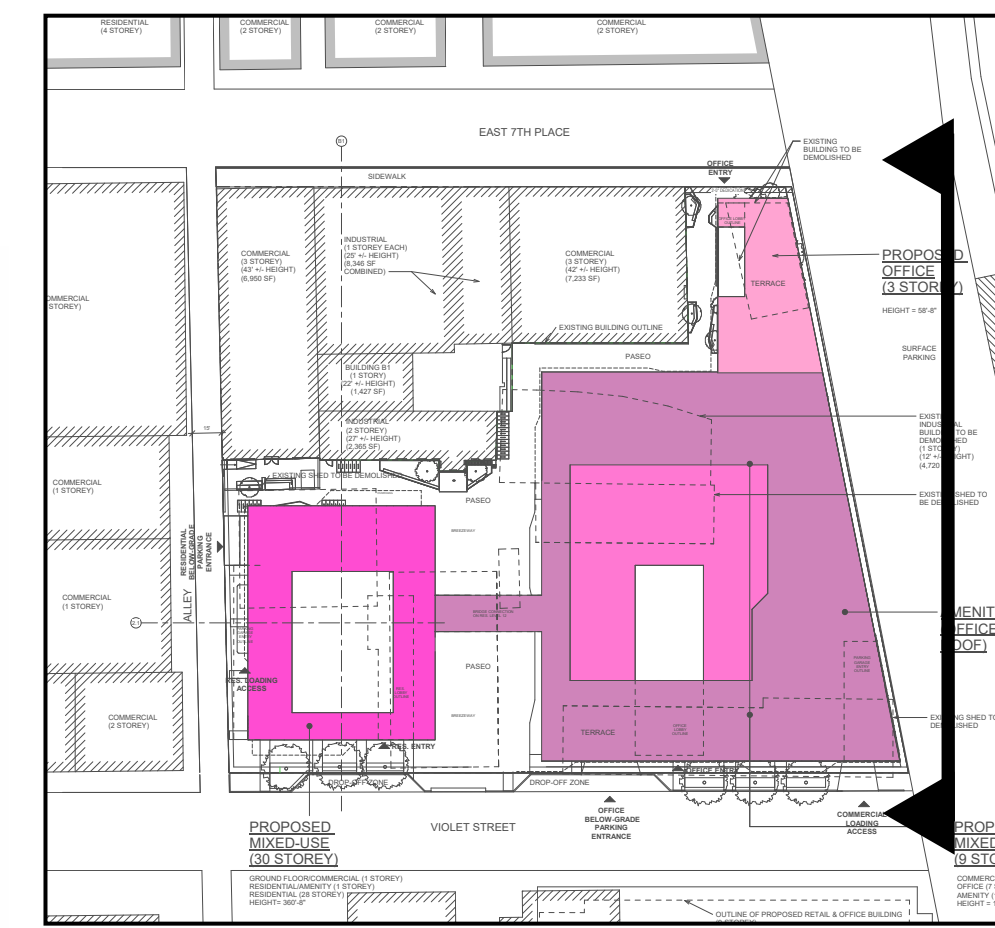
**2143 VIOLET, LOS ANGELES CALIFORNIA**

PROJECT  
**SOUTH ELEVATION**

TITLE	ISSUE NO.
PROJECT NUMBER 201802	3
DRAWING NUMBER	A.402

1 South  
 A.402 3/64" = 1'-0"

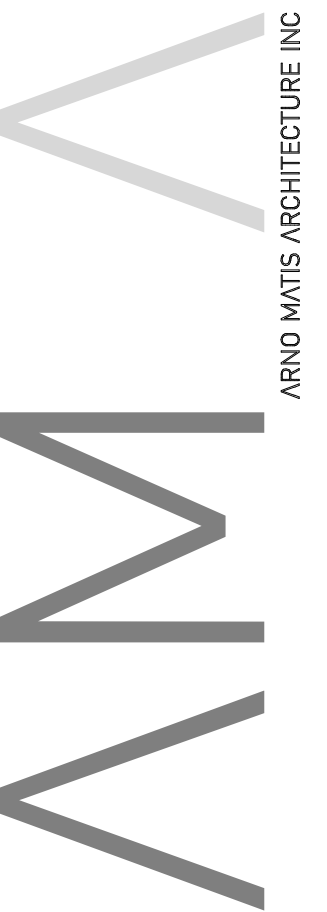
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**MATERIAL LEGEND**

- ① WHITE FROSTED GLASS
- ② DARK GREY FROSTED GLASS
- ③ NON-COMBUSTIBLE CLADDING COMPONENT
- ④ ALUMINUM FRAME VERTICAL 2SSG CURTAIN WALL SYSTEM
- ⑤ ROOFTOP ENCLOSURE
- ⑥ ART WALL
- ⑦ GLASS GUARDRAIL AT BALCONY

4	ENTITLEMENT PKG. REVISION	2021-05-07
2	ENTITLEMENT PKG. REVISION	2020-03-16
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



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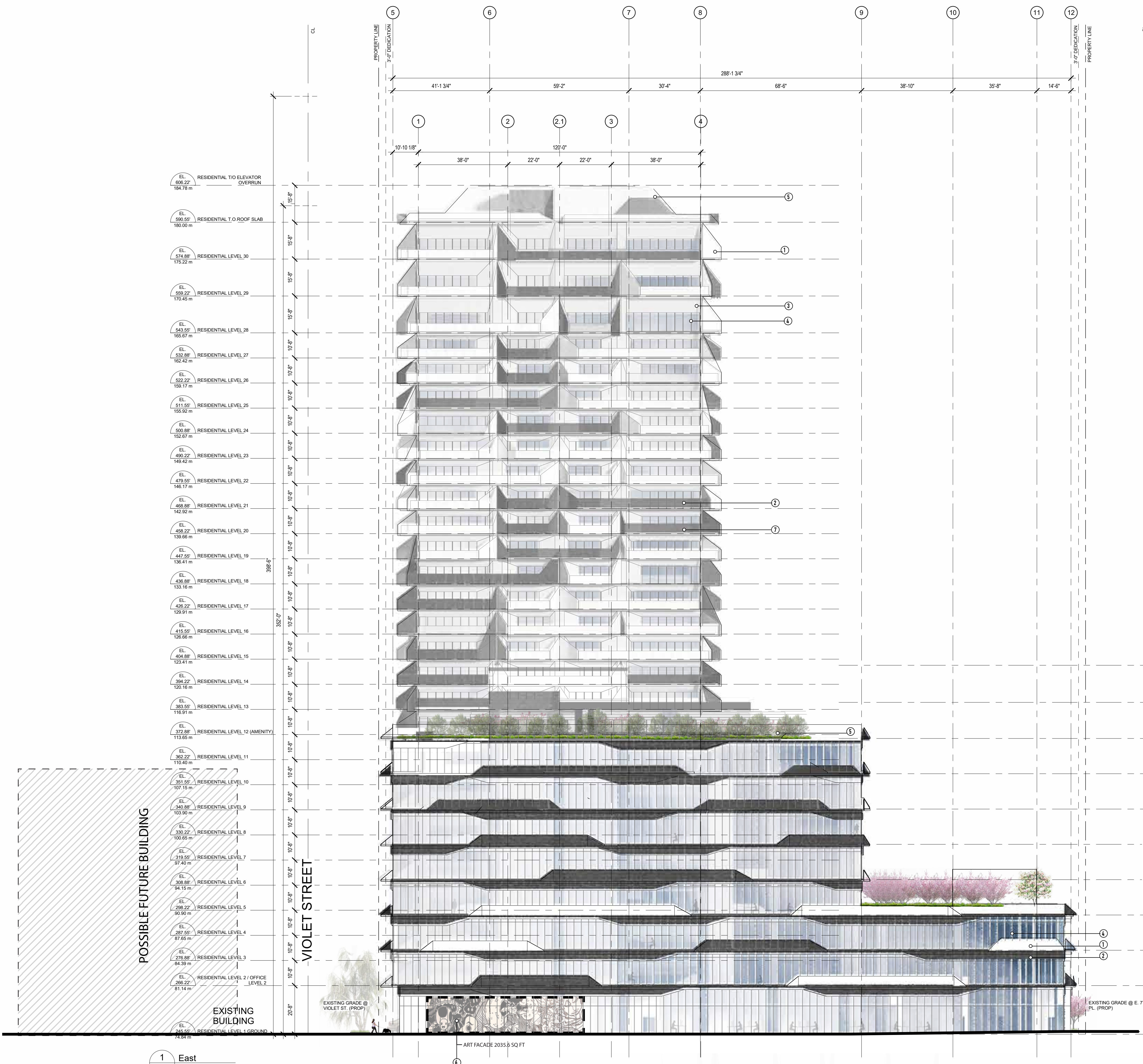
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WC			As indicated
			DRAWING DATE
			2020-05-07

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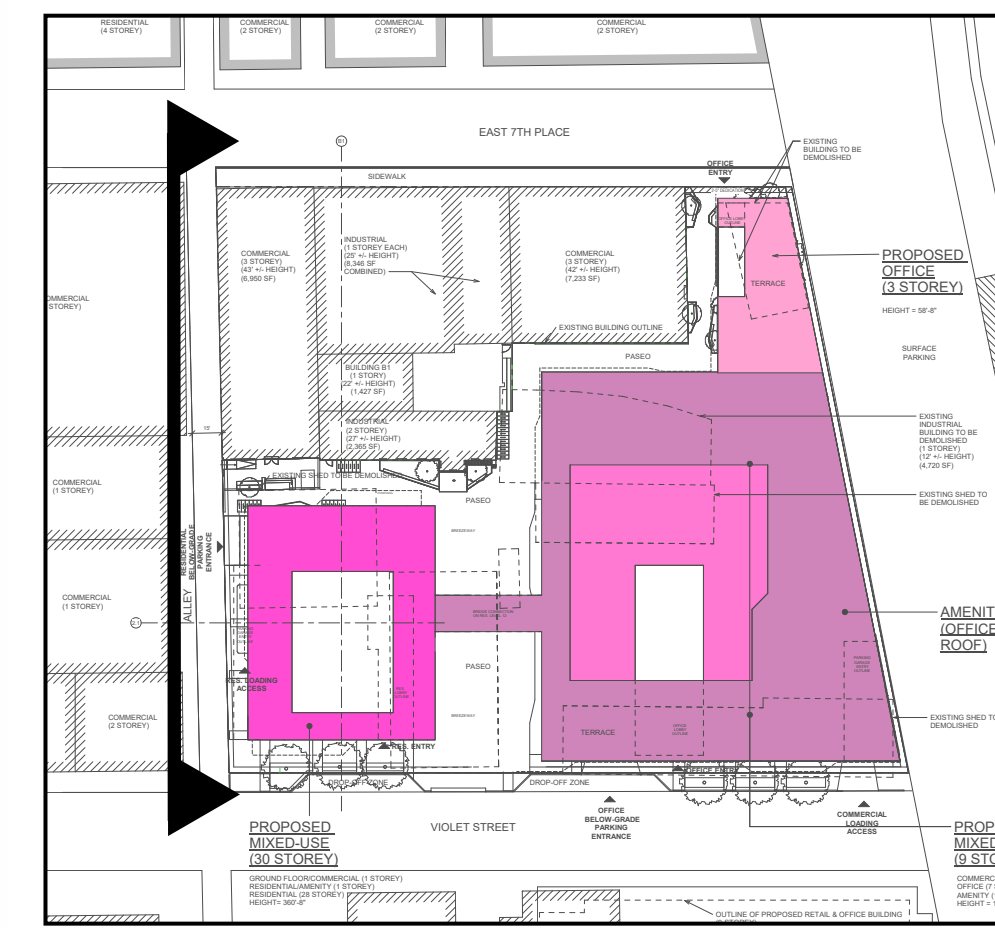
PROJECT  
**EAST ELEVATION**

TITLE	ISSUE NO.
PROJECT NUMBER 201802	4
DRAWING NUMBER	A.403



1 East  
 A.403 3/64" = 1'-0"

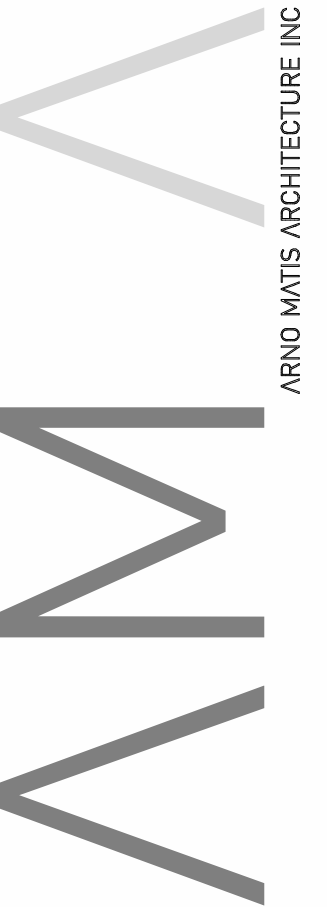
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**MATERIAL LEGEND**

- ① WHITE FROSTED GLASS
- ② DARK GREY FROSTED GLASS
- ③ NON-COMBUSTIBLE CLADDING COMPONENT
- ④ ALUMINUM FRAME VERTICAL 2SSG CURTAIN WALL SYSTEM
- ⑤ ROOFTOP ENCLOSURE
- ⑥ ART WALL
- ⑦ GLASS GUARDRAIL AT BALCONY

2	ENTITLEMENT PKG. REVISION	2020-05-07
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



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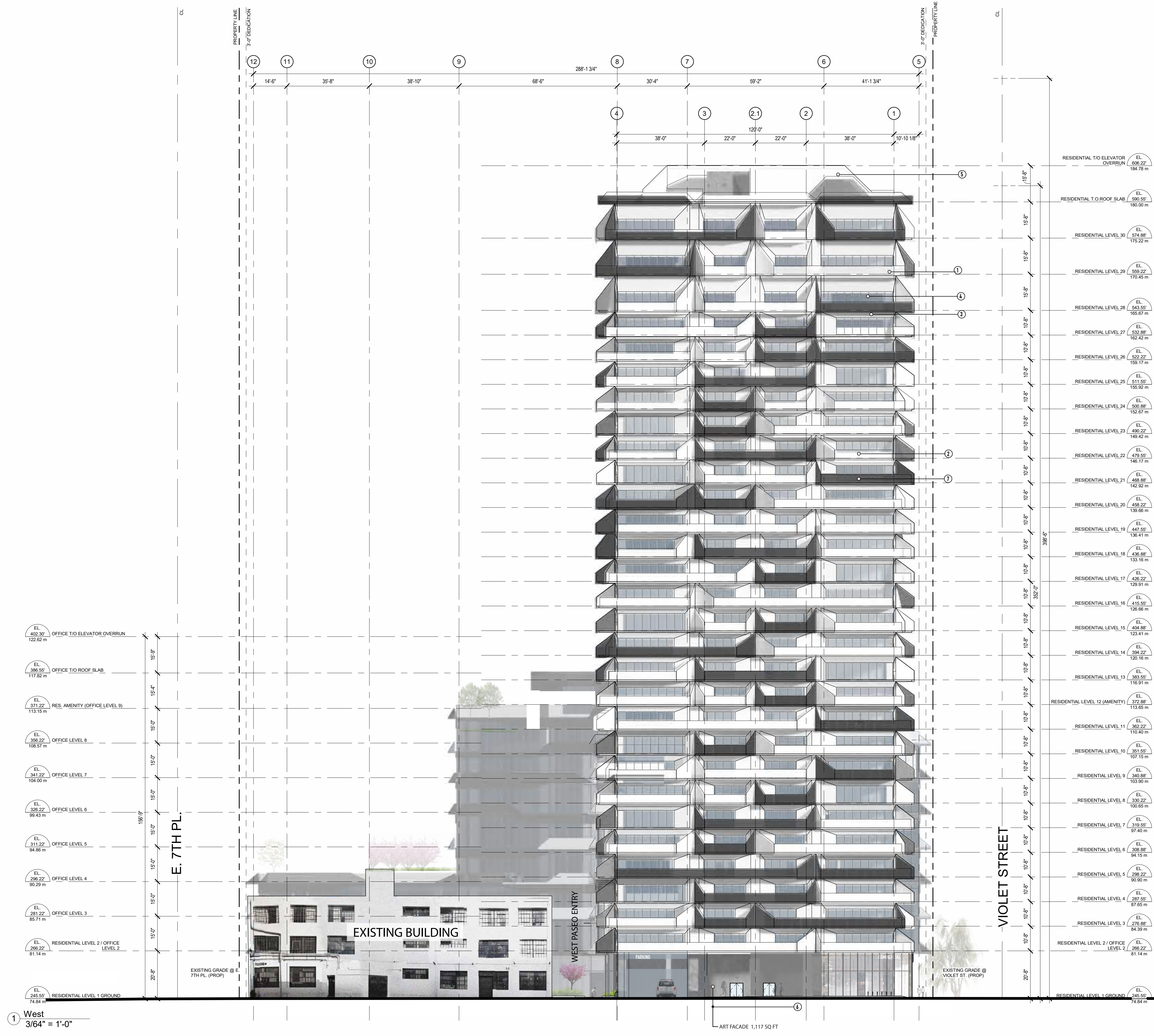
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 TEL: 925.228.8801 INFO@MAUD.COM

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WC			As indicated
			DRAWING DATE
			2020-05-07

**2143 VIOLET,  
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 CALIFORNIA**

PROJECT  
**WEST ELEVATION**

TITLE	ISSUE NO.
PROJECT NUMBER 201802	4
DRAWING NUMBER	A.404

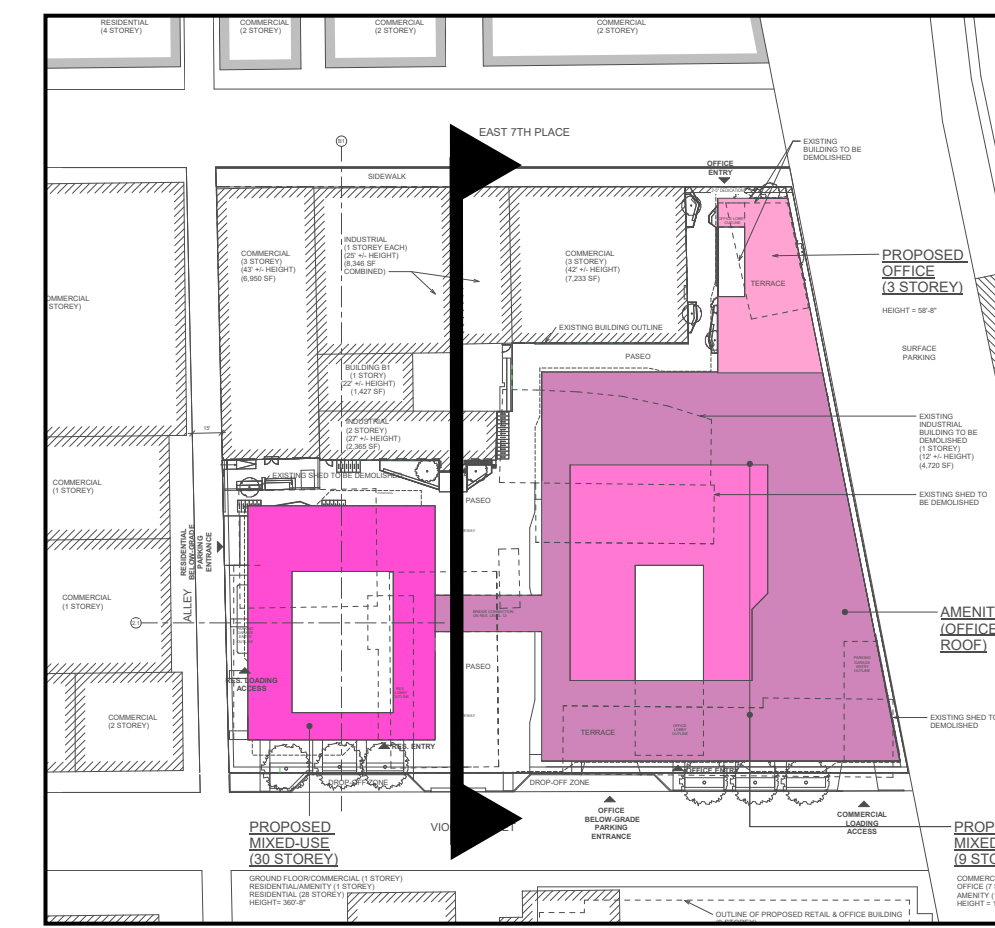


RESIDENTIAL TO ELEVATOR OVERRUN	EL. 606.22' / 184.78 m
RESIDENTIAL T.O. ROOF SLAB	EL. 590.55' / 180.00 m
RESIDENTIAL LEVEL 30	EL. 574.88' / 175.22 m
RESIDENTIAL LEVEL 29	EL. 559.22' / 170.45 m
RESIDENTIAL LEVEL 28	EL. 543.55' / 165.67 m
RESIDENTIAL LEVEL 27	EL. 527.88' / 162.42 m
RESIDENTIAL LEVEL 26	EL. 522.22' / 159.17 m
RESIDENTIAL LEVEL 25	EL. 511.55' / 155.52 m
RESIDENTIAL LEVEL 24	EL. 500.88' / 152.87 m
RESIDENTIAL LEVEL 23	EL. 490.22' / 149.42 m
RESIDENTIAL LEVEL 22	EL. 479.55' / 146.17 m
RESIDENTIAL LEVEL 21	EL. 468.88' / 142.92 m
RESIDENTIAL LEVEL 20	EL. 458.22' / 139.66 m
RESIDENTIAL LEVEL 19	EL. 447.55' / 136.41 m
RESIDENTIAL LEVEL 18	EL. 436.88' / 133.16 m
RESIDENTIAL LEVEL 17	EL. 426.22' / 129.91 m
RESIDENTIAL LEVEL 16	EL. 415.55' / 126.66 m
RESIDENTIAL LEVEL 15	EL. 404.88' / 123.41 m
RESIDENTIAL LEVEL 14	EL. 394.22' / 120.16 m
RESIDENTIAL LEVEL 13	EL. 383.55' / 116.91 m
RESIDENTIAL LEVEL 12 (AMENITY)	EL. 372.88' / 113.66 m
RESIDENTIAL LEVEL 11	EL. 362.22' / 110.40 m
RESIDENTIAL LEVEL 10	EL. 351.55' / 107.15 m
RESIDENTIAL LEVEL 9	EL. 340.88' / 103.90 m
RESIDENTIAL LEVEL 8	EL. 330.22' / 100.65 m
RESIDENTIAL LEVEL 7	EL. 319.55' / 97.40 m
RESIDENTIAL LEVEL 6	EL. 308.88' / 94.15 m
RESIDENTIAL LEVEL 5	EL. 298.22' / 90.90 m
RESIDENTIAL LEVEL 4	EL. 287.55' / 87.65 m
RESIDENTIAL LEVEL 3	EL. 276.88' / 84.39 m
RESIDENTIAL LEVEL 2 / OFFICE LEVEL 2	EL. 266.22' / 81.14 m
RESIDENTIAL LEVEL 1 GROUND	EL. 245.55' / 74.84 m

EL. 402.30'	OFFICE T/O ELEVATOR OVERRUN	122.62 m
EL. 386.55'	OFFICE T/O ROOF SLAB	117.82 m
EL. 371.22'	RES. AMENITY (OFFICE LEVEL 9)	113.15 m
EL. 356.22'	OFFICE LEVEL 8	108.57 m
EL. 341.22'	OFFICE LEVEL 7	104.00 m
EL. 326.22'	OFFICE LEVEL 6	99.43 m
EL. 311.22'	OFFICE LEVEL 5	94.86 m
EL. 296.22'	OFFICE LEVEL 4	90.29 m
EL. 281.22'	OFFICE LEVEL 3	85.71 m
EL. 266.22'	RESIDENTIAL LEVEL 2 / OFFICE LEVEL 2	81.14 m
EL. 245.55'	RESIDENTIAL LEVEL 1 GROUND	74.84 m

① West  
 3/64" = 1'-0"

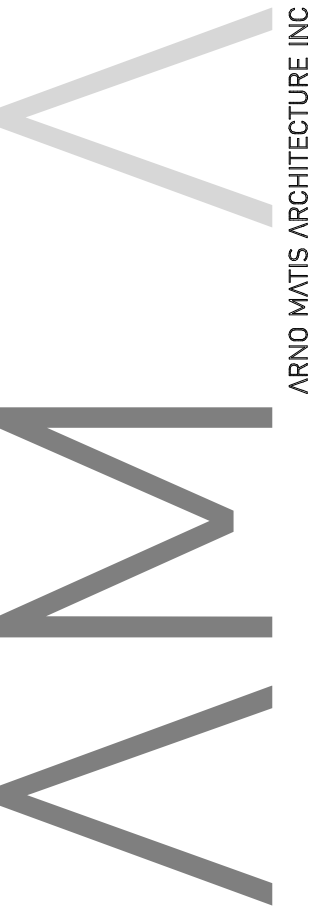
ART FACADE 1,117 SQ FT



MATERIAL LEGEND

- ① WHITE FROSTED GLASS
- ② DARK GREY FROSTED GLASS
- ③ NON-COMBUSTIBLE CLADDING COMPONENT
- ④ ALUMINUM FRAME VERTICAL 2SSG CURTAIN WALL SYSTEM
- ⑤ ROOFTOP ENCLOSURE
- ⑥ ART WALL
- ⑦ GLASS GUARDRAIL AT BALCONY

4	ENTITLEMENT PKG. REVISION	2020-05-07
2	ENTITLEMENT PKG. REVISION	2020-03-16
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



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MAUD ARCHITECTS

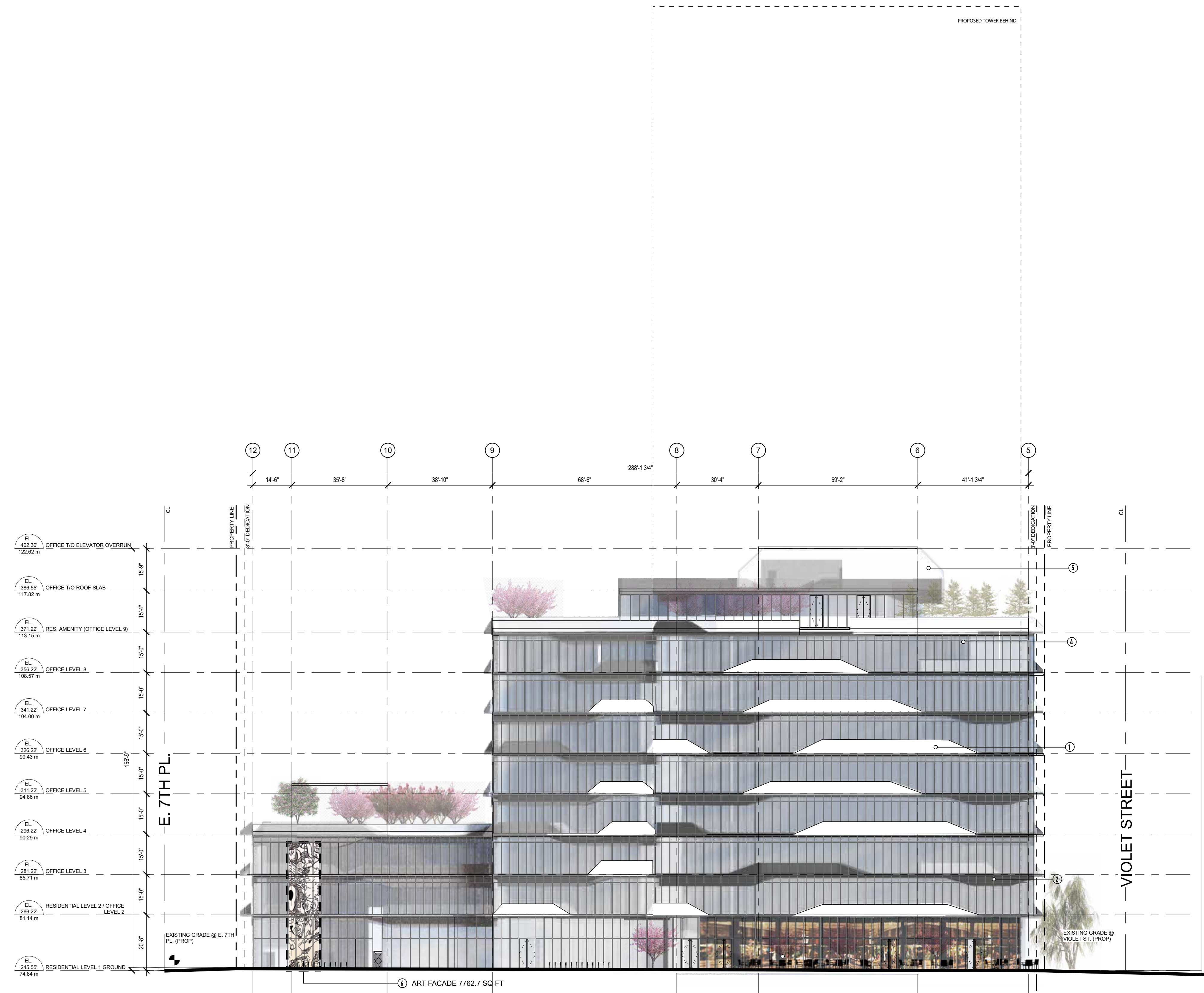
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WC			As indicated
			DRAWING DATE
			2020-05-07

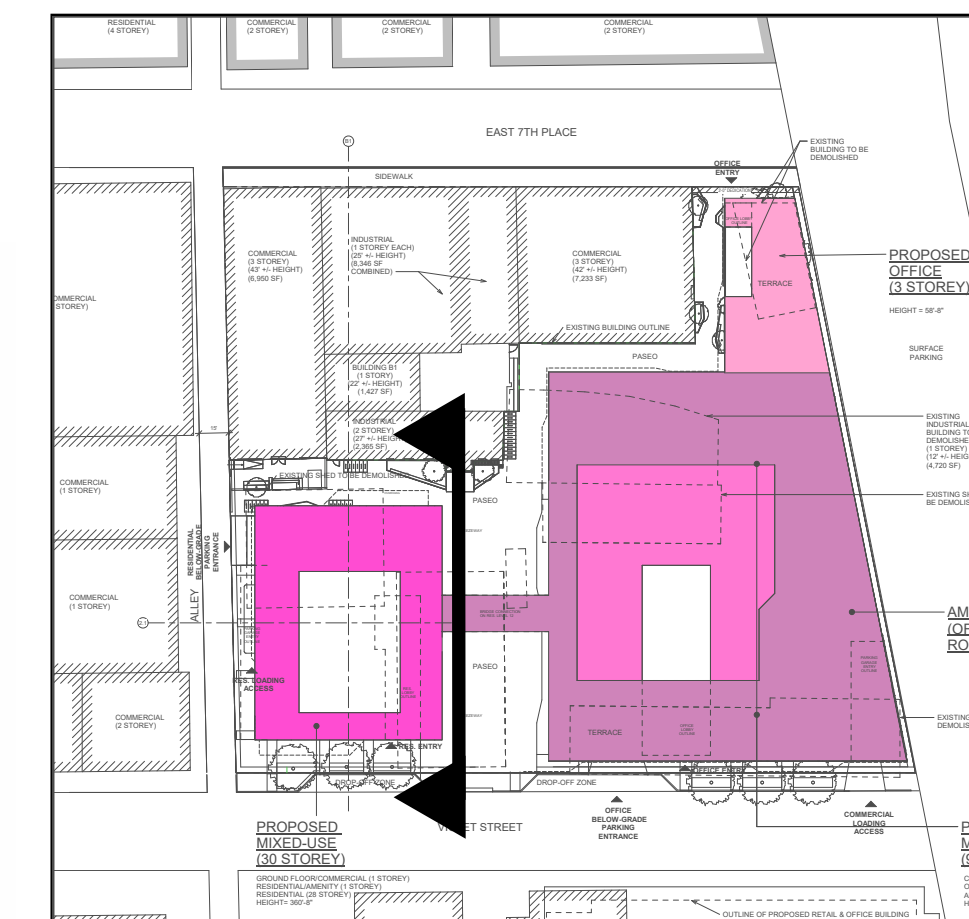
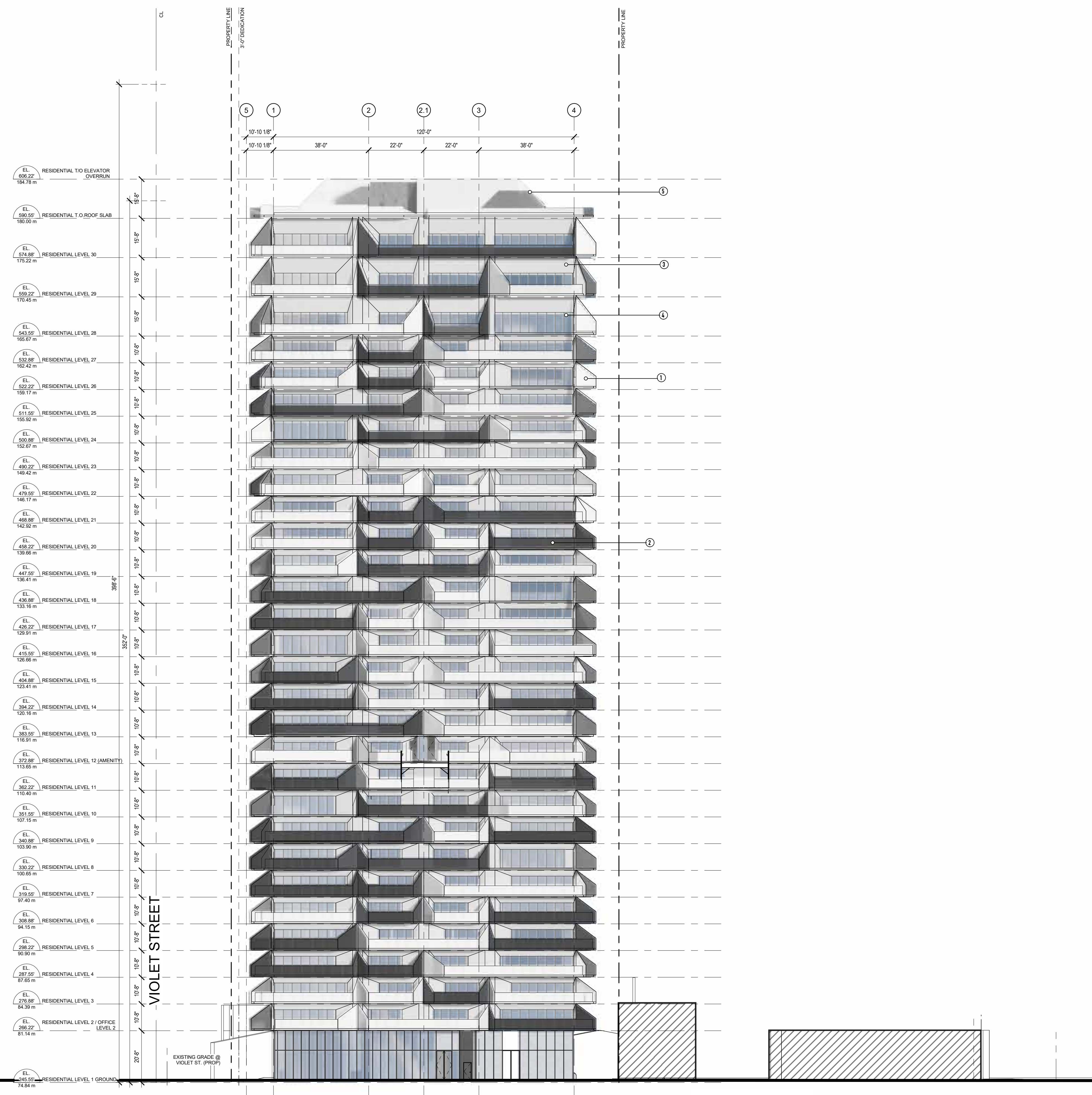
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 LOS ANGELES  
 CALIFORNIA

PROJECT  
 OFFICE BLDG. WEST  
 ELEVATION

TITLE	ISSUE NO.
PROJECT NUMBER 201602	4
DRAWING NUMBER	A.403



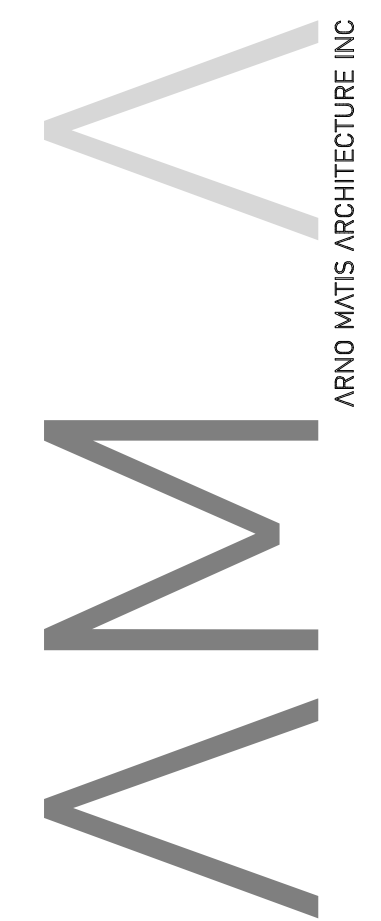




**MATERIAL LEGEND**

- ① WHITE FROSTED GLASS
- ② DARK GREY FROSTED GLASS
- ③ NON-COMBUSTIBLE CLADDING COMPONENT
- ④ ALUMINUM FRAME VERTICAL 2SSG CURTAIN WALL SYSTEM
- ⑤ ROOFTOP ENCLOSURE
- ⑥ ART WALL
- ⑦ GLASS GUARDRAIL AT BALCONY

4	ENTITLEMENT PKG. REVISION	2021-05-07
3	ENTITLEMENT PKG. REVISION	2021-05-07
2	ENTITLEMENT PKG. REVISION	2020-03-16
1	ISSUED FOR ENTITLEMENT PKG.	2018-09-28



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 TEL: 562.928.8801 INFO@MAUD.COM

DRAWN BY	CHK	INT	SCALE
WC			As indicated
			DRAWING DATE
			2020-05-07

**2143 VIOLET,  
 LOS ANGELES  
 CALIFORNIA**

PROJECT  
**RES. BLDG. EAST  
 ELEVATION**

TITLE	ISSUE NO.
PROJECT NUMBER 201602	4
DRAWING NUMBER	A.406

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# 2143 VIOLET STREET

## RE-ISSUED FOR ENTITLEMENT

### CLIENT BUSINESS NAME // CLIENT

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### ARNO MATIS ARCHITECTURE // ARCHITECT

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### LOCI LANDSCAPE ARCHITECTURE + URBAN DESIGN // LANDSCAPE ARCHITECT

MICHAEL ENNS // BCSLA, CSLA  
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604.763.2886

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604.694.0053

### LANDSCAPE DRAWING INDEX PERMIT

Sheet No.	Sheet Name
L0.0	COVER SHEET
L0.1	LANDSCAPE DESIGN CONSIDERATIONS
L0.2	OVERALL LANDSCAPE SITE PLAN
L1.0	LANDSCAPE MATERIALS PLAN - GROUND LEVEL
L1.1	LANDSCAPE PLANTING PLAN - GROUND LEVEL
L1.2	LANDSCAPE HYDROZONE PLAN - GROUND LEVEL
L1.3	LANDSCAPE LIGHTING PLAN - GROUND LEVEL
L2.0	MATERIALS PLAN - UPPER LEVEL AMENITIES
L2.1	PLANTING PLAN - UPPER LEVEL AMENITIES
L2.2	HYDROZONE PLAN - UPPER LEVEL AMENITIES
L2.3	LIGHTING PLAN - UPPER LEVEL AMENITIES
L3.0	PLANT LIST + IMAGES
L4.0	PRECEDENT IMAGES - GROUND LEVEL
L4.1	PRECEDENT IMAGES - OFFICE / RESIDENTIAL AMENITIES
L4.2	PRECEDENT IMAGES - OFFICE / RESIDENTIAL AMENITIES

### OPEN SPACE REQUIREMENTS

#### PER LA CITY ZONING CODE, SECTION 12.21 (G)

OPEN SPACE REQUIREMENTS:	UNITS	OPEN SPACE REQUIRED
100 S.F. FOR UNITS < 3 HABITABLE ROOMS	144	14400 S.F.
125 S.F. FOR UNITS = 3 HABITABLE ROOMS	143	17875 S.F.
175 S.F. FOR UNITS > 3 HABITABLE ROOMS	60	10500 S.F.
<b>TOTAL REQUIRED</b>		<b>42775 S.F.</b>
<b>PROVIDED OPEN SPACE:</b>		
INTERIOR AMENITY ROOMS		10690 S.F.
GROUND LEVEL PASEO		12280 S.F.
LEVEL 8 OFFICE/RESIDENTIAL AMENITY		25321 S.F.
PRIVATE OPEN SPACE		17350 S.F.
<b>TOTAL PROVIDED</b>		<b>65641 S.F.</b>

### COMMON OPEN SPACE REQUIREMENTS

COMMON OPEN SPACE REQUIREMENTS:	COMMON OPEN SPACE REQUIRED
(50% OF TOTAL OPEN SPACE)	21388 S.F.
<b>TOTAL COMMON OPEN SPACE PROVIDED</b>	
INTERIOR AMENITY ROOMS	10690 S.F.
GROUND LEVEL PASEO	12280 S.F.
OFFICE LEVEL 8/RES. LEVEL 11 (RES. AMENITY UPPER LEVEL)	25321 S.F.
<b>TOTAL PROVIDED</b>	<b>48291 S.F.</b>

LANDSCAPE AREA PROVIDED:	LANDSCAPE AREA REQUIRED
9217 S.F.	5347 S.F.

#### TREE QUANTITY REQUIREMENTS - MINIMUM 24" BOX ALL TREES / PALMS PLANTED IN MINIMUM 30" SOIL DEPTH

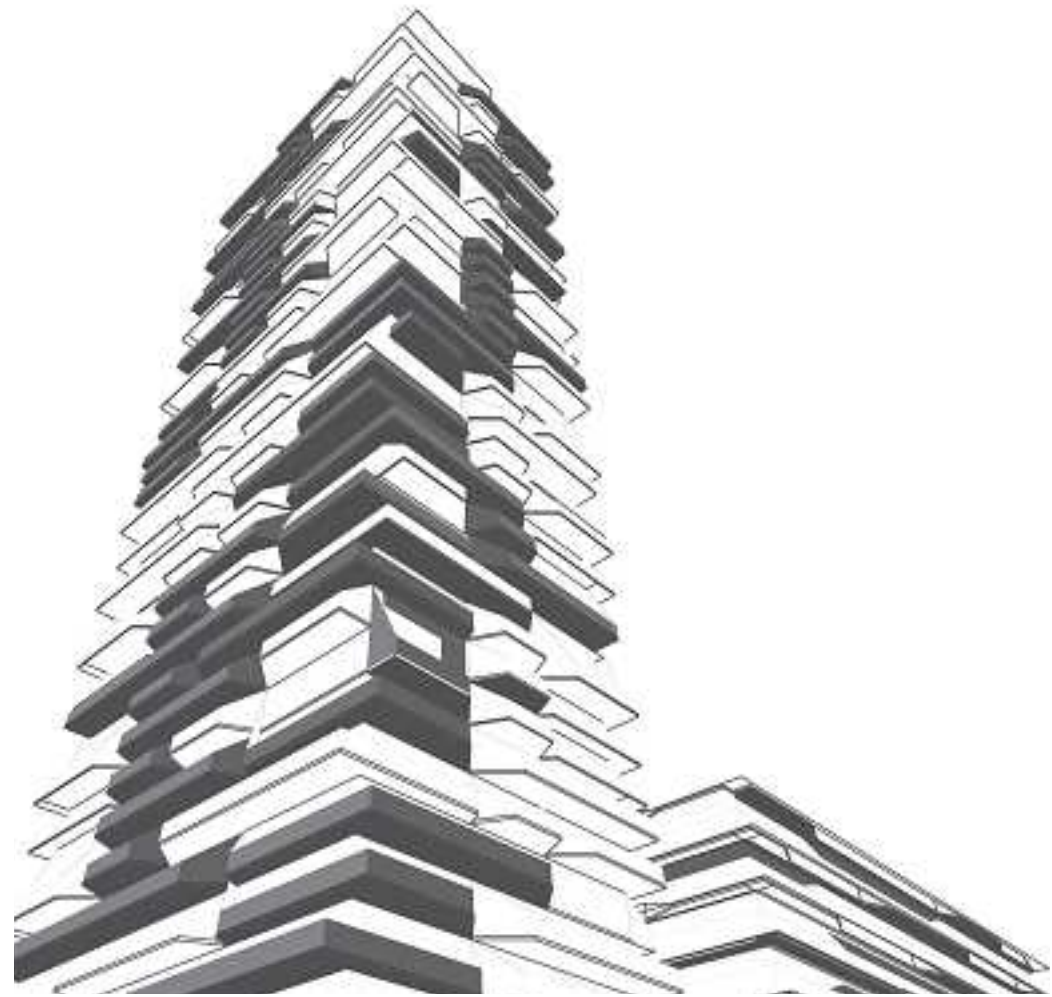
	347 UNITS	TREES REQUIRED:
1 TREE PER 4 UNITS	-UNITS / 4 =	87
TREES PROVIDED - 24" BOX OR GREATER	1 TO 1	15
MITIGATION TREES	4 TO 1	4
PROTECTED TREES (REFER TO ARBORIST REPORT)	<b>TOTAL REQUIRED</b>	<b>106</b>

	TREES PROVIDED:
GROUND LEVEL (PASEO + OFFSITE)	13
LEVEL 4 OFFICE/RESIDENTIAL AMENITY	21
OFFICE LEVEL 8/RES. LEVEL 11 (RES. AMENITY UPPER LEVEL)	89
PROTECTED TREE (REFER TO ARBORIST REPORT)	0
<b>TOTAL PROVIDED</b>	<b>123</b>

EXCESS TREES: 17

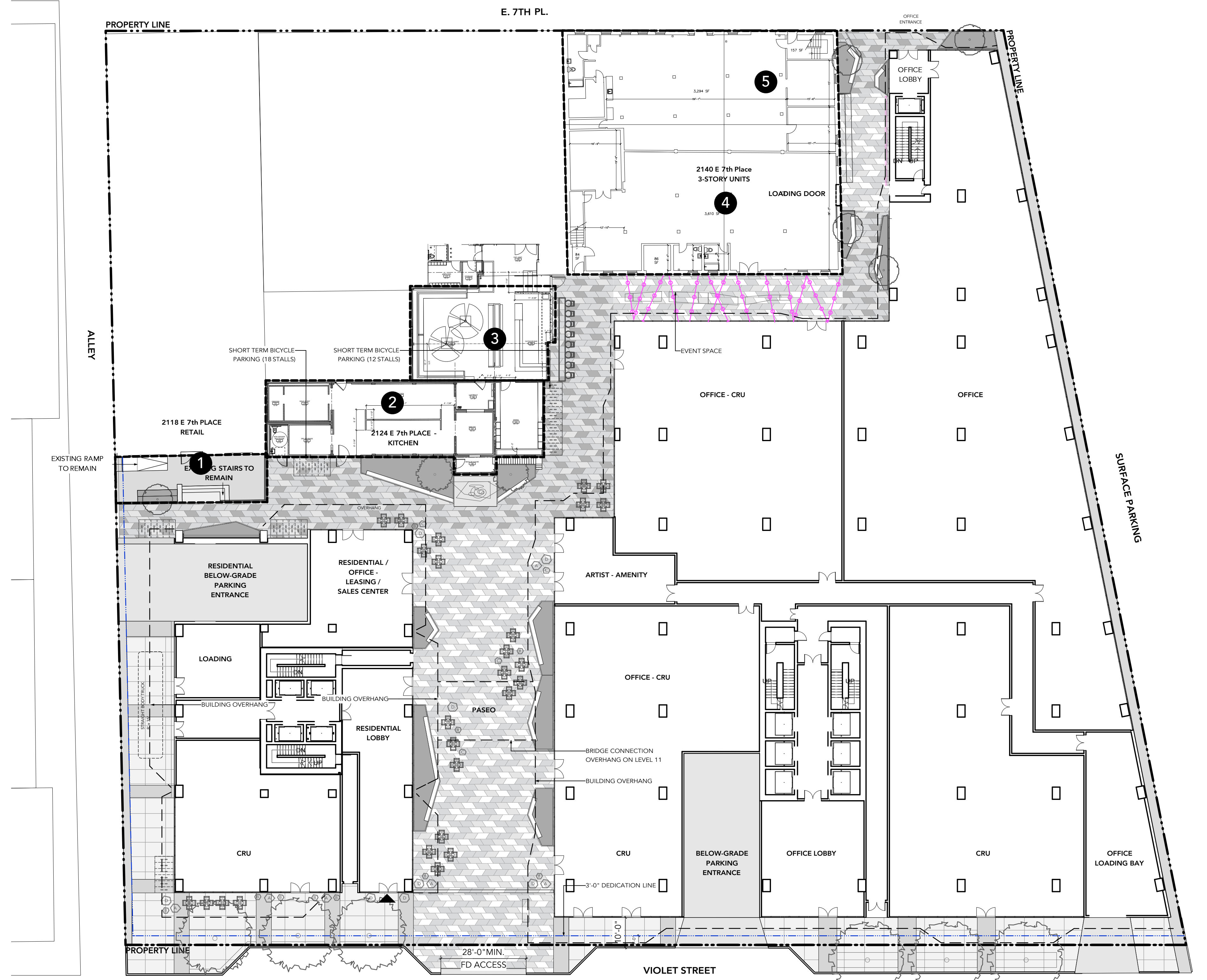
**DESIGN RATIONALE - GROUND LEVEL**

The ground level landscape design proposes a simple palette of paving styles, furnishings, and interactive multi-media, inspired in form from the architectural facade as well as in function from the live-work-artist character that is emerging in this revitalized area of L.A. The central paseo is lined with feature paving, various seating types and planters to create inviting spaces for socializing, eating and people watching adjacent to the retail shops. Moving northward, the paseo splits into two smaller pedestrian corridors, both of which will house locations where artists can work and display their art to the community through "working art walls". In order for both residents and visitors to stay up to date on local events and schedules, a multi-media digital board is located at both the north and south end of the paseo. Other programme functions to help activate the paseo spaces include an amphitheatre, outdoor deck platforms for gatherings, and a greenwall-backed banquet table for informal meetings.

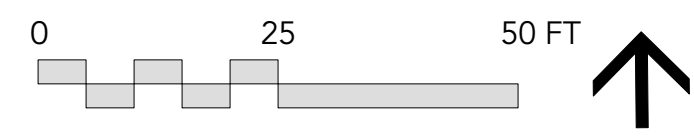


**DESIGN CONSIDERATIONS**

- 1 2118 E 7th PLACE - RETAIL - "EXISTING STAIRS AND RAMP TO REMAIN"
- 2 2124 E 7th PLACE - KITCHEN - "EXISTING PATIO SPACE TO REMAIN"
- 3 RESTAURANT COURTYARD EXISTING
- 4 2140 E 7th PLACE - 3-STORY UNITS - "EXISTING FACADE AND ENTRY TO REMAIN"
- 5 2140 E 7th PLACE - "EXISTING STAIRS / RAMP TO REMAIN"

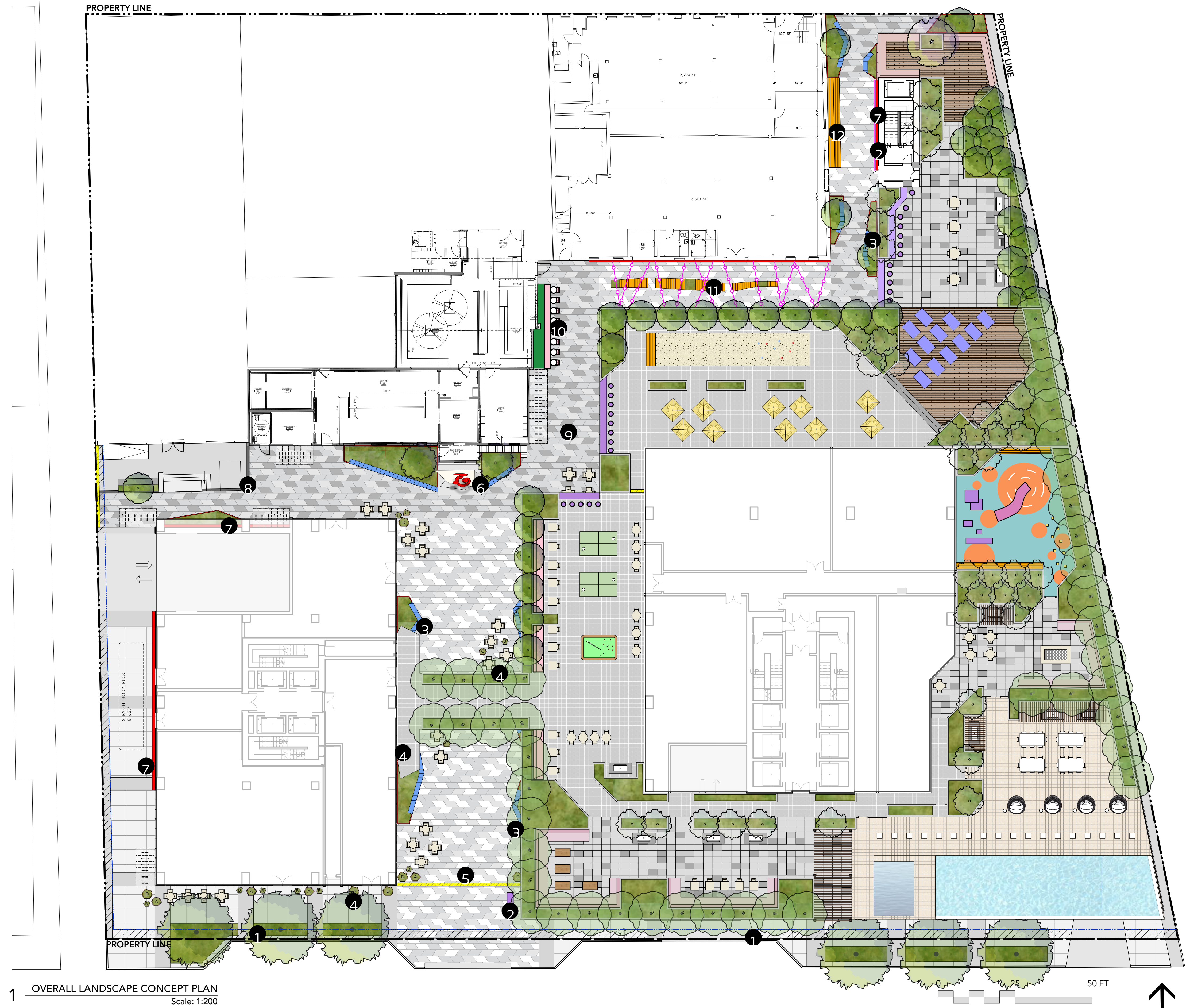


1 LANDSCAPE DESIGN CONSIDERATIONS - GROUND LEVEL  
Scale: 1" = 20'-0"



**CONCEPT FEATURES**

- 1 STREET TREES AND PLANTING BEDS
- 2 DIGITAL MEDIA BOARD - FOR ART EVENTS SCHEDULING
- 3 METAL BENCHES INTEGRATED INTO METAL PLANTERS
- 4 PATIO/MOVABLE SEATING
- 5 PASEO AREA  
ALLOWANCE FOR 28'-0" WIDE FIRE TRUCK ACCESS FROM VIOLET AVENUE
- 6 PUBLIC ART DISPLAY SPACE
- 7 WORKING ART WALLS - LOCAL ARTISTS/COMMUNITY GROUPS  
MOUNTING DETAILS VARY
- 8 WOOD ON SLAB SEATING - RECYCLED TIMBER
- 9 VERTICAL GARDEN + TABLES AND SEATING
- 10 GATHERING SPACE WITH OVERHEAD CATENARY LIGHTING INSTALLATION  
WOOD BANQUET TABLE WITH SEATING
- 11 WOOD SEAT STEPS / AMPHITHEATRE



**CONCEPT FEATURES**

- 1 STREET TREES AND PLANTING BEDS
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**LAYOUT + MATERIALS LEGEND**

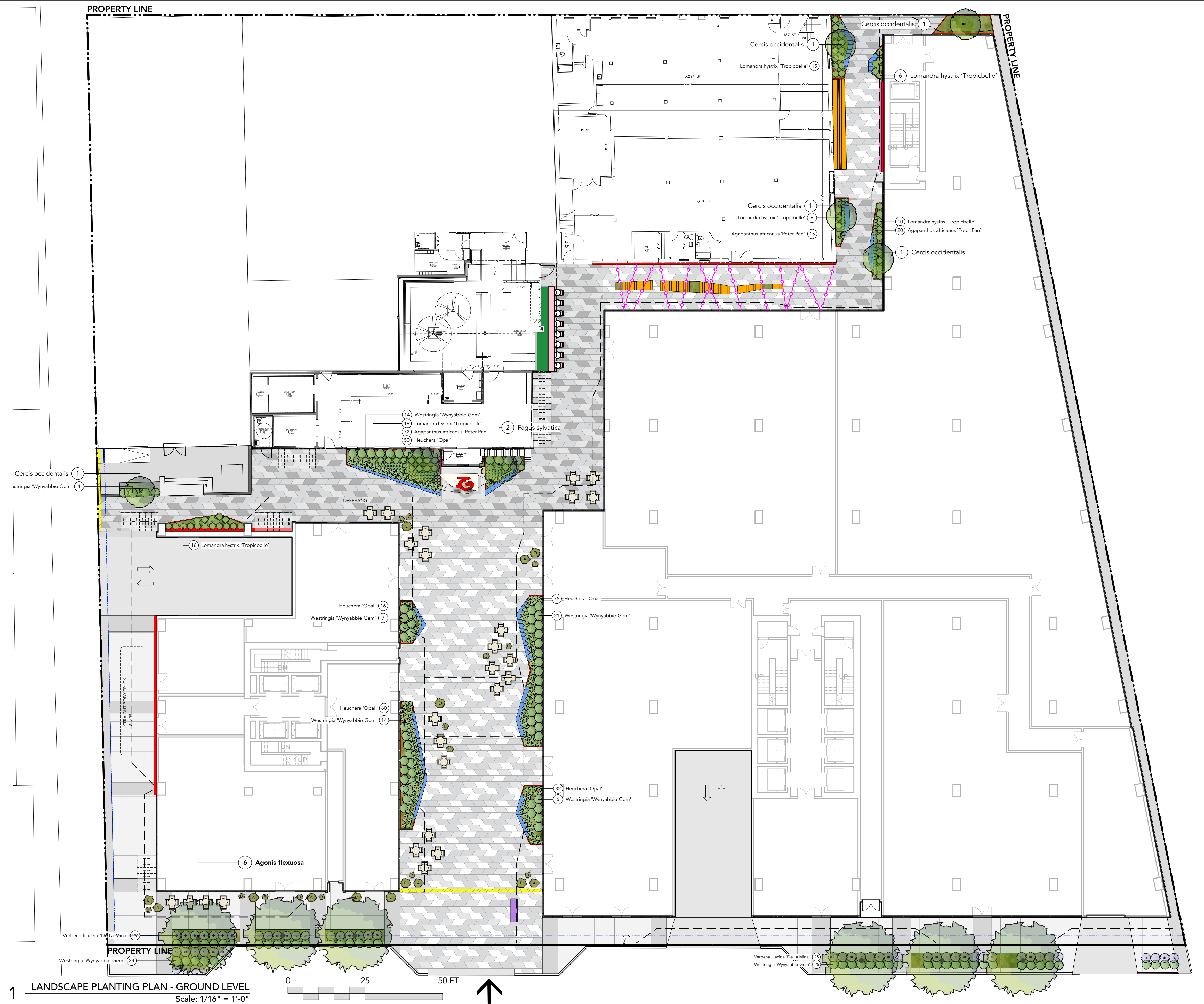
SYMBOL	TYPE	DESCRIPTION
	P6	PAVING TYPE 6 CIP Scored Concrete Paving w/ Concrete Banding
	P7	PAVING TYPE 7 Paseo / Event space - Pre-cast Unit paving
	P8	PAVING TYPE 8 Pathway Pre-cast Unit Paving
	ART WALL	ART WALL materials, details TBD
	PASEO CONTROLLED ACCESS GATE	Paseo shall be accessible to public from 8am to 10pm. Electronic fob control access after -hours.
	DIGITAL MEDIA BOARD/SCREEN	Scheduling + Upcoming Events
	SEATING/TABLES	Cafe Style Table and Chairs TBD, By Owner
	MOVEABLE PLANTERS	Pre-cast Concrete planters
	PLANTERS / SEATING	Custom metal planters with integrated metal seating
	OVER HEAD LIGHTING	- See Lighting plan L1.3
	WOOD SLAB SEATING/DECKING + PLANTING	Recycled Timber
	ART PLINTH	CIP Concrete Platform for Art
	BIKE RACKS	- 30" o.c.
	WOOD SEAT STEPS / AMPHITHEATER	Recycled Timber
	SEATING TYPE 3	Bar and Stool Seating W/ Green wall. Adjacent to existing restaurant



1 LANDSCAPE MATERIALS PLAN - GROUND LEVEL  
Scale: 1/16" = 1'-0"

**GENERAL PLANTING NOTES:**

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH ASLA LANDSCAPE STANDARD, LATEST EDITION
2. ALL TREE AND SHRUB AREAS TO BE MULCHED WITH 50MM (2") OF MEDIUM FINE MULCH, LESS THAN 50MM (2") DIAMETER.
3. ROOTZONE TO REST ON TAMPED PLANTING SOIL
4. SHRUBS: PREPARE PLANTING HOLES AS SPECIFIED. PLANT AT THE SAME GRADE AS NURSERY. WATER AND FERTILIZE AS SPECIFIED. ENSURE POSITIVE DRAINAGE THROUGHOUT PLANTING BED
5. TREE SIZE AND SPACING TO BE AS PER CITY OF LOS ANGELES ARBORIST
6. TREE: PREPARE PLANTING HOLES AS SPECIFIED INSTALL TOP OF ROOTZONE 6" ABOVE FINISHED GRADE OF GROWING MEDIUM. WATER AND FERTILIZE AS SPECIFIED BY NURSERY.



1 LANDSCAPE PLANTING PLAN - GROUND LEVEL  
Scale: 1/16" = 1'-0"

HYDROZONE WATER BUDGET WORKSHEET LEVEL 10

Project address: 2143 Violet St.  
 Project Location: Los Angeles, CA  
 ET(o) = 50.1 in/yr  
 Eppt. = 3.73 in/yr

MAXIMUM APPLIED WATER ALLOWANCE

MAWA = (ETo - Eppt.) (0.62) [(0.7 x LA) + (0.3 x SLA)]

Total Irrigated Landscape Area

Planting area + SPA (SQ FT)	9217
SLA (SQ FT)	2034
TOTAL (SQ FT)	11251

MAWA (Gal/yr) 203031

ESTIMATED TOTAL WATER USE

ETWU = (ETo - Eppt.) x (0.62) x (((PF / IE) x HA) + SLA)

Irrigation Efficiency Default Value for drip 0.90

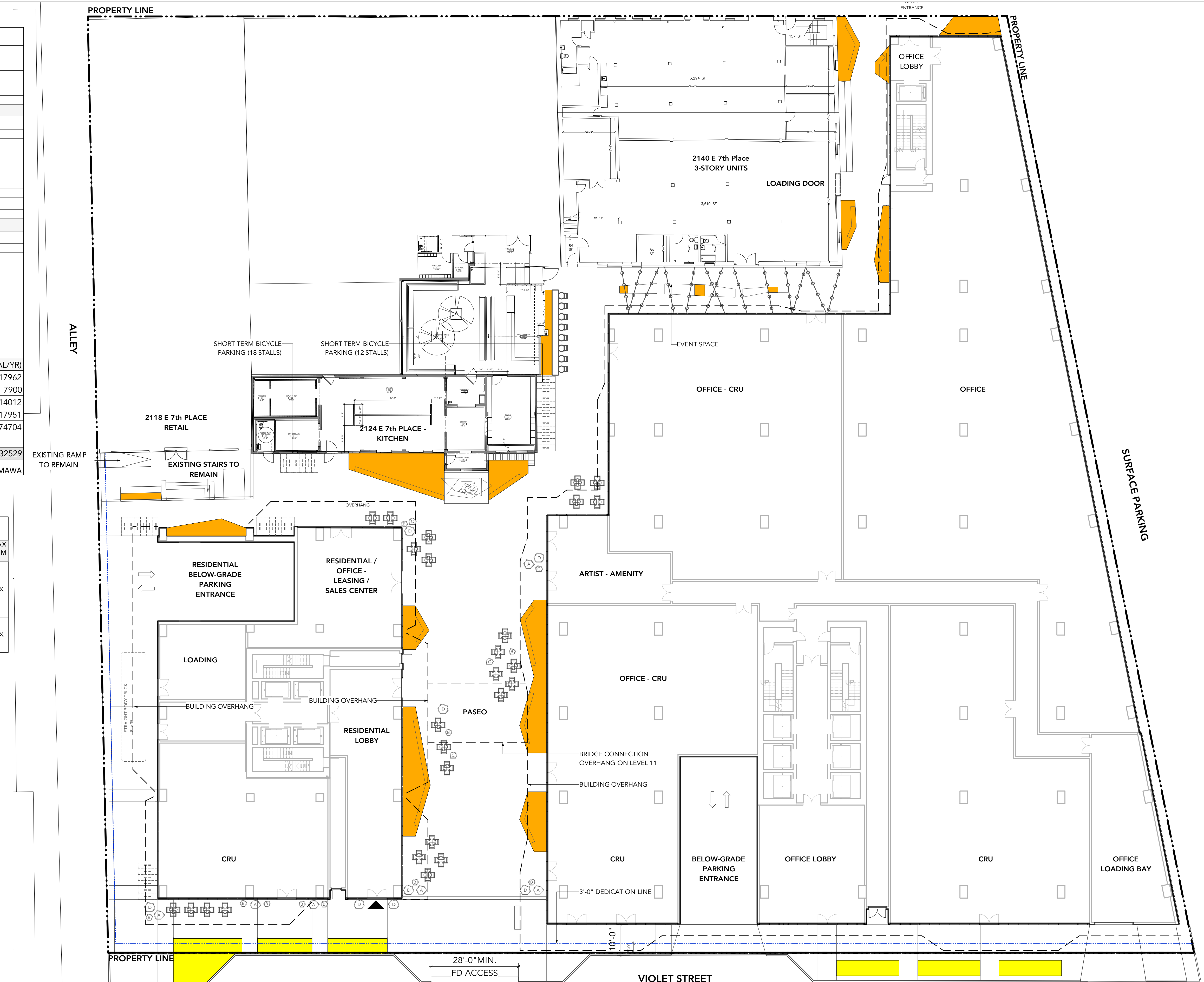
Plant Water Use Type	Plant Factor
Very Low	0 — 0.1
Low	0.2 — 0.3
Medium	0.4 — 0.6
High	0.7 — 1.0
Water Feature	1

Hydrozone	Area (SQ FT)	Irrigation Type	Irrigation Efficiency	Plant Factor	ETWU (GAL/YR)
1	1687	drip	0.81	0.3	17962
2	742	drip	0.81	0.3	7900
3	987	drip	0.81	0.4	14012
4	1686	drip	0.81	0.3	17951
5	4115	drip	0.81	0.3	74704
<b>TOTAL</b>	<b>9217</b>				<b>132529</b>

ETWU IS LESS THAN MAWA

HYDROZONE TABLE - LEVEL 1

ZONE/ NUMBER	AREA	DESCRIPTION	PLANT MATERIAL	PLANT FACTOR	IRRIGATION EFFICIENCY	FT. DRIPLINE	MAX GPM
1	1687 SQ.FT.	PASEO PLANTERS	CERCIS OCCIDENTALIS, HEUCHERA OPAL, WESTRINGIA 'WYNYABBI GEM', LOMANDRA HYSTRIX 'TROPICBELLE', AGAPANATHUS AFRICANUS 'PETER PAN', FAGUS SYLVATICA	LOW PF .3	DRIP 0.81 - 0.90	XX FT.	XX
2	742 SQ.FT.	STREET PLANTERS	AGONIS FLEXUOSA, VERBENA LILACINA 'DE LA MINA', WESTRINGIA 'WYNYABBI GEM'	LOW PF .3	DRIP 0.81 - 0.90	XX FT.	XX



1 LANDSCAPE HYDROZONE PLAN - GROUND LEVEL  
 Scale: 1/16" = 1'-0"

**LIGHTING LEGEND - LEVEL 1**

QTY	TYPE	MANUFACTURER	DESCRIPTION
10	Flood Light	BK Lighting	Denali flood light
8	Street Tree Lighting	Hometown Evolution Inc.	Black commercial grade light string with G50 Spiral Edison C9 Base Light - Provide outlet at base of trees
8	Wall Wash	Bega Lighting	LED Wall Washer Light #44 573
lin. ft.	Tape Light	VarioLED Flex	Flex Venus/Phobos/Skylla White TV IP67
103	Cable Mount Light	Tegan Lighting	Exton - Cable mount pendant "G" Glass envelope - copper bowl

SEE L2.3 FOR GENERAL LIGHTING NOTES



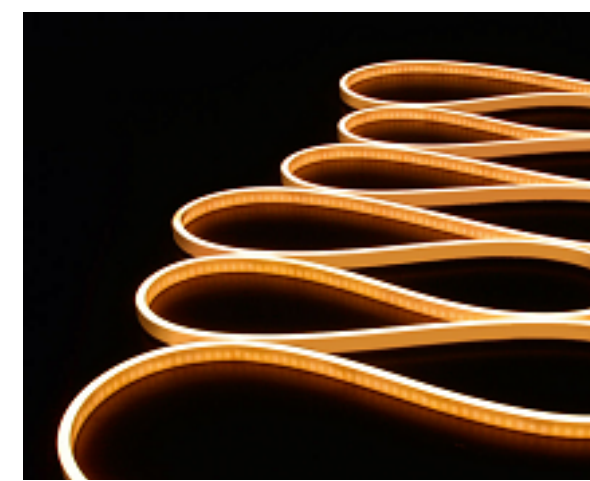
Type A- BK Denali Flood Light



Type B - White LED Light Strings



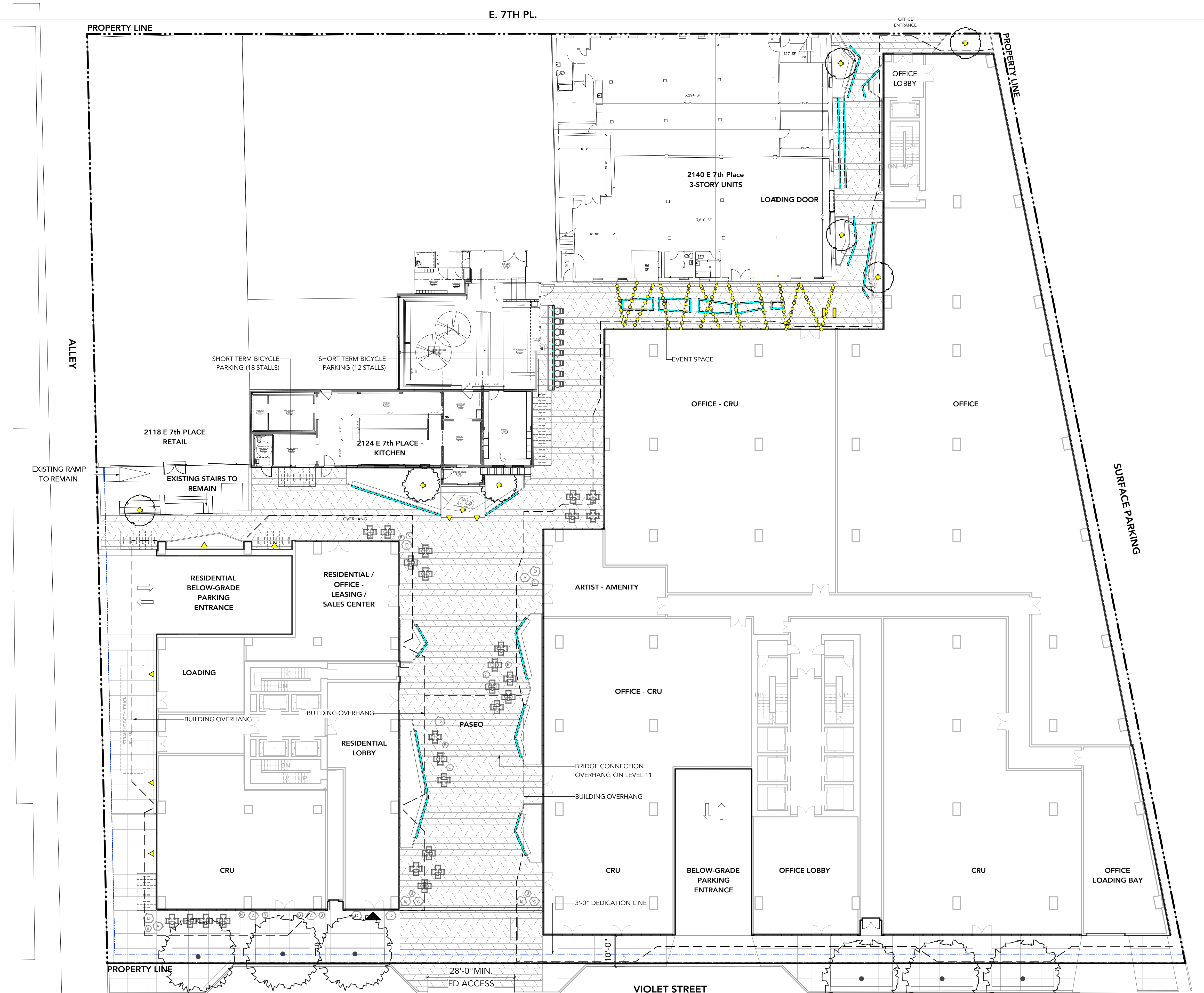
Type C- Bega Lighting Wall Washer



Type D - Tape Light



Type E-Cable Mount Light



1 LANDSCAPE LIGHTING PLAN - GROUND LEVEL  
Scale: 1/16" = 1'-0"



## DESIGN RATIONALE - OFFICE AMENITY

The overall landscape concept for the residential amenity deck is anchored by the linear pool deck area, with perimeter furnishing for tanning and relaxing, and supported by lounge and eating areas at either end. Separated from the pool deck are various spaces adjacent to the indoor residential amenity rooms, including a covered games area, an outdoor eating / bbq / lounge area, and a child play area with rubberized surfacing, vertical elements and a climbing wall. North of the this on Level 8 is the office / residential amenity deck, with more flexible spaces and moveable furniture to allow for flexible programming to cater to both daily use and special events. A bocce court and fitness deck provide options for recreation and relaxation during the day. Lastly, at the north end of the amenity deck but situated 4 floors below, is another amenity deck catered to office / residential users on level 4. This small, intimate patio is programmed mainly for both large and small social gatherings, with a large covered outdoor kitchen surrounded by seating and lounge areas. Similar to the ground level thematics, there are accents of the building facade form and materiality found on all amenity decks.

### OFFICE / RESIDENTIAL AMENITY DECK - LEVEL 4

- 1 EVENT / SOCIAL SPACE WITH COUCHES, BAR TABLES AND COVERED OUTDOOR KITCHEN SPACE
- 2 INTIMATE FIRE PIT / LOUNGE AREAS

### OFFICE / RESIDENTIAL AMENITY DECK - LEVEL 8

- 3 GAMES / SOCIAL AREA
- 4 LOUNGE / FIRE PIT / BBQ + EATING AREA
- 5 CHILD PLAY AREA: SLIDE, MOUND, CLIMBING WALL
- 6 POOL DECK AREA - OUTDOOR BBQ AREA
- 7 POOL DECK AREA W/ PERIMETER LOUNGERS + DAY BEDS
- 8 POOL LOUNGE / SOCIAL AREA
- 9 LUNCH + SOCIAL AREA / EVENT SPACE
- 10 RAISED FITNESS / YOGA DECK
- 11 BOCCIE PITCH
- 12 VIEWING BAR + STOOLS

## LAYOUT + MATERIALS LEGEND

SYMBOL	TYPE	DESCRIPTION
	P1	PAVING TYPE 1 - AMENITY DECK GAMES AREAS 18" x 18" x 1 5/8" Texada Hydrapressed Pavers
	P2	PAVING TYPE 2 - AMENITY DECK LOUNGE AREAS 24" x 36" x 7/8" Porcelain paver
	P3	PAVING TYPE 3 - AMENITY DECK POOL AREA 36" x 16" x 2.5" Pre-cast Broadway Paver
	P4	PAVING TYPE 4 - AMENITY DECK ACTIVE AREA Wood deck composite
	P5	PAVING TYPE 5 PIP rubber play surfacing
	CIP CONCRETE PLANTER	24" - 36" HT. 6" Width Raised Planter with Drains Connected to Plumbing
	BOCCIE COURT WITH BENCH	1.25" Depth crushed oyster shell bocce court with CIP concrete bench with wood top
	PERGOLA STRUCTURE	Wood Trellis Covering BBQ Area / Social Areas
	SEATING TYPE 1	ULM Daybed with Parasol (83"x 79")
	SEATING TYPE 2	Couch TBD, By Owner
	SEATING TYPE 3	Bar and Stool Seating TBD, By Owner
	SEATING TYPE 4	Cafe Style Table and Chairs TBD, By Owner
	SEATING TYPE 5	CIP concrete bench with thermally modified wood seat top
	SEATING TYPE 6	Banquet Table Seating (39"x 86") TBD, By Owner
	TABLES	TBD
	POOL FENCE + GATE	Powder coated black aluminum fence to be equipped with panic hardware, refer to Architecture
	FIRE PIT - TBD	
	BBQ	TBD
	PING PONG TABLE	By owner, 9' x 5'
	BILLIARDS	By owner
	OUTDOOR WORKOUT EQUIPMENT	By owner
	VERTICAL PLAY STICKS	
	CHILDREN'S SLIDE	
	STEPPING BLOCKS	
	GATED ACCESS	



1 MATERIALS PLAN - UPPER LEVEL AMENITIES  
Scale: 1/16" = 1'-0"

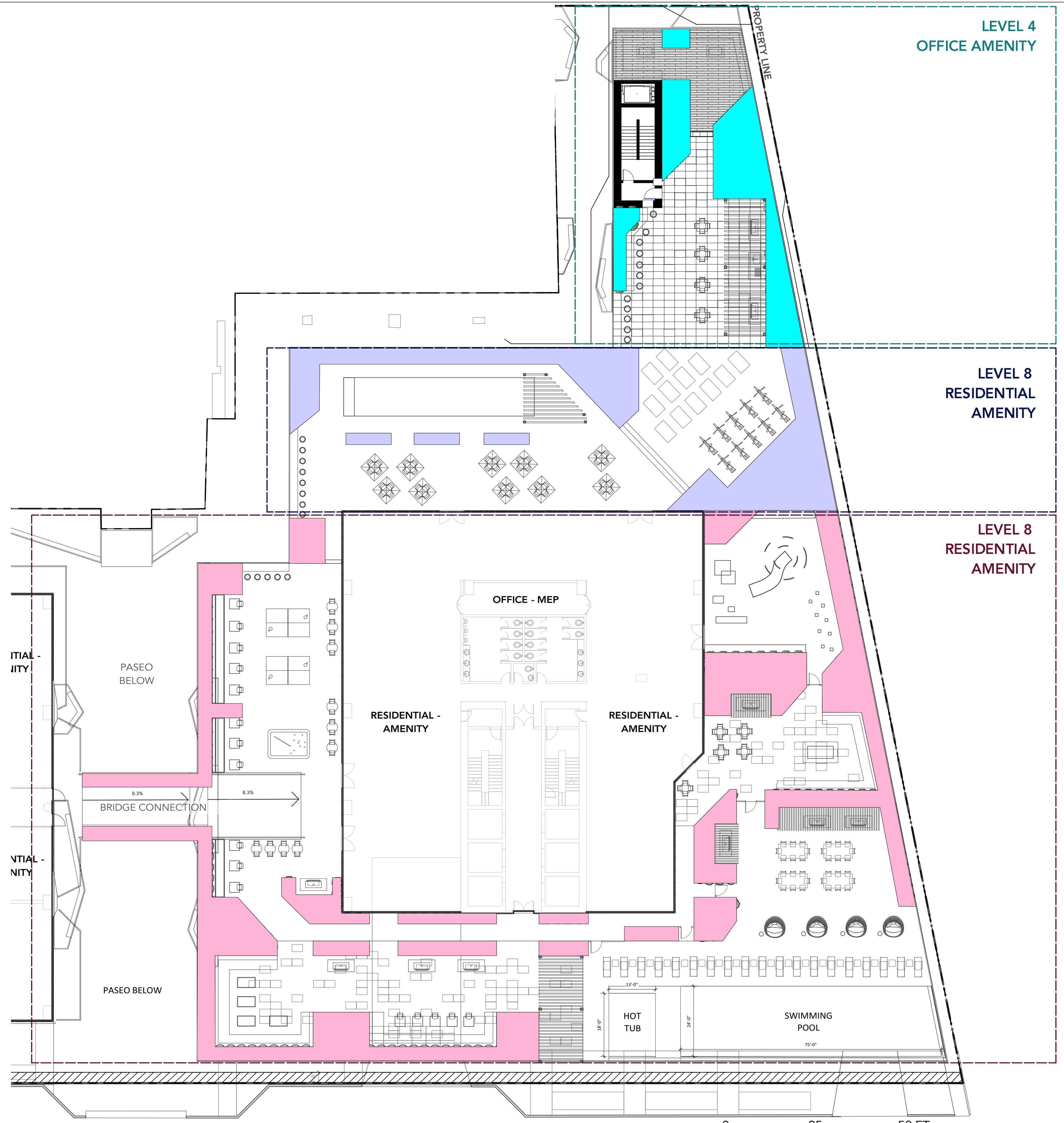
**GENERAL PLANTING NOTES:**

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH ASLA LANDSCAPE STANDARD, LATEST EDITION
2. ALL TREE AND SHRUB AREAS TO BE MULCHED WITH 50MM (2") OF MEDIUM FINE MULCH, LESS THAN 50MM (2") DIAMETER.
3. ROOTZONE TO REST ON TAMPED PLANTING SOIL
4. SHRUBS: PREPARE PLANTING HOLES AS SPECIFIED. PLANT AT THE SAME GRADE AS NURSERY. WATER AND FERTILIZE AS SPECIFIED. ENSURE POSITIVE DRAINAGE THROUGHOUT PLANTING BED
5. TREE SIZE AND SPACING TO BE AS PER CITY OF LOS ANGELES ARBORIST
6. TREE: PREPARE PLANTING HOLES AS SPECIFIED INSTALL TOP OF ROOTZONE 6" ABOVE FINISHED GRADE OF GROWING MEDIUM. WATER AND FERTILIZE AS SPECIFIED BY NURSERY.



**1 PLANTING PLAN - UPPER LEVEL AMENITIES**  
Scale: 1/16" = 1'-0"

HYDROZONE TABLE - UPPER LEVELS							
ZONE/NUMBER	AREA	DESCRIPTION	PLANT MATERIAL	PLANT FACTOR	IRRIGATION EFFICIENCY	FT. DRIPLINE	MAX GPM
3	987 SQ.FT.	LEVEL 4 PLANTERS	CERCIS OCCIDENTALIS, POLYSTICHUM MUNITUM, HEUCHERA OPAL, PITTOSPORUM TOBIRA, X CHITALPA, LAGERSTROEMIA	MED PF .4	DRIP 0.81 - 0.90	XX FT.	XX
4	1686 SQ.FT.	LEVEL 8 OFFICE PLANTERS	PITTOSPORUM TOBIRA, RHOEO PATHACEA, POLYSTICHUM MUNITUM, GLEDITSIA TRIACANTHOS, LAGERSTROEMIA	LOW PF .3	DRIP 0.81 - 0.90	XX FT.	XX
5	4115 SQ.FT.	LEVEL 8 RESIDENTIAL PLANTERS	OLEA EUROPAEA 'MONTRA', CERCIS OCCIDENTALIS, VERBENA LILACINA, FESTUCA GLAUCA, SALVIA LEUCANTHA, OLEA EUROPAEA, LAGERSTROEMIA, GLADITSIA TRIACANTHOS, SARCOCOCCA, PITTOSPORUM TOBIRA	LOW PF .3	DRIP 0.81 - 0.90	XX FT.	XX



1 HYDROZONE PLAN - UPPER LEVEL AMENITIES  
Scale: 1/16" = 1'-0"

**GENERAL LIGHTING NOTES:**

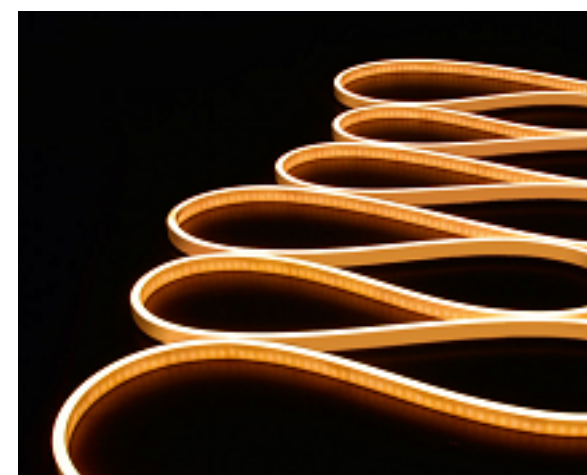
1. THE ELECTRICAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL ELECTRICAL WORK FOR THE LANDSCAPE ARCHITECTS APPROVAL. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY LICENSED ELECTRICAL ENGINEER, OR MASTER ELECTRICIAN. PRIOR TO WORK COMMENCING/INSTALLATION.
2. ALL FIXTURE TYPES, SPACING, AND QUANTITIES TO BE CONFIRMED.
3. PRICE BASED ON LED LIGHT SOURCE FOR APPLICABLE LUMINAIRES
4. REFER TO ELECTRICAL ENGINEER FOR SERVICING REQUIREMENTS
5. THE LIGHTING CONTRACTOR IS OBLIGATED TO REFER TO THE LANDSCAPE PLANS AND DETAILS FOR LOCATIONS OF FIXTURES RELATIVE TO THE PROPOSED HARDSCAPE AND PLANTING PLANS. NOTED DIMENSIONS ARE APPROXIMATE. REFER TO NOTE OR ENLARGEMENT, FOR FINAL PLACEMENT. CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION, IF NEEDED.
6. THE LANDSCAPE ARCHITECT OR CLIENT'S REPRESENTATIVE SHALL APPROVE THE FLAGGED LAYOUT OF THE FIXTURES AND ELECTRICAL SYSTEM PRIOR TO TRENCHING AND/OR FOUNDATION PREPARATION.
7. THE ELECTRICAL/LIGHTING CONTRACTOR IS RESPONSIBLE TO COORDINATE THE PLACEMENT OF SLEEVES PRIOR TO PAVING, SLEEVE MATERIAL SHALL BE SCHEDULE 40 AND AT A MINIMUM DEPTH TO MEET ALL ELECTRICAL CODES.
8. THE ELECTRICAL/LIGHTING CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, LICENSES, AND ASSOCIATED FEES REQUIRED TO INSTALL THE SYSTEM(S) INCLUDING ALL ELECTRICAL CONDUIT, LIGHT FIXTURES, WIRE, PANELS, JUNCTION BOXES AND NECESSARY EQUIPMENT FOR THE COMPLETION OF THE WORK.
9. THE ELECTRICAL/LIGHTING CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES, COMMUNICATIONS PROVIDERS AND OTHERS TO IDENTIFY AND MARK LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN THE SCOPE OF WORK. KNOWN UTILITIES WHICH MAY BE ENCOUNTERED INCLUDE: ELECTRICAL, STORM SEWER, WATER, AND SANITARY SEWER.
10. VERIFY IN FIELD, ALL LOCATIONS OF FIXTURES, ELECTRICAL LINES OR OTHER LIGHTING SYSTEM ELEMENTS WITHIN THE DRIP LINE OF ANY EXISTING TREES. NOTIFY LANDSCAPE ARCHITECT OF SUCH OCCURRENCES PRIOR TO COMMENCEMENT OF WORK. HAND EXCAVATE WITHIN THE DRIPLINE OF ANY TREE, REFER TO SPECIFICATIONS.
11. ELECTRICAL CONDUIT LAYOUT IS DIAGRAMMATIC ON DOCUMENTS. ADJUST LOCATIONS ON SITE TO ACCOMMODATE EXISTING JOB CONDITIONS AND TO ACHIEVE MINIMAL IMPACT TO IN PLACE AND FUTURE ELEMENTS. AVOID INSTALLATIONS UNDER TREES.
12. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING ELECTRIC POWER, AND PROPOSED CONNECTIONS AND METERS IN THE FIELD FOR APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
13. THE CONTRACTOR SHALL PROVIDE CIRCUIT BREAKERS, AND PHOTO CELL CONTACTORS FOR ACTIVATION OF LIGHTING CIRCUITS.
14. THE CONTRACTOR SHALL PROVIDE CIRCUIT BREAKERS AND ASTRONOMIC TIME CLOCK FOR DE-ACTIVATION ON LIGHTING CIRCUITS.
15. THE LIGHTING SYSTEM SHALL BE PHOTOCELL ON, TIMER OFF.
16. THE OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH ALL OF THE FOLLOWING:
  - a. THE MINIMUM REQUIREMENTS IN CALIFORNIA ENERGY CODE FOR LIGHTING ZONES 1-4
  - b. BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS AS DEFINED IN IESNA TM-15-11
  - c. ALLOWABLE BUG RATINGS NOT EXCEEDING THOSE SHOWN IN ON TABLE 5.106.8
17. STRING LIGHTS SHALL BE MANUALLY ADJUSTED EVERY 6 MONTHS TO ACCOMMODATE TREE GROWTH

**LIGHTING LEGEND - UPPER LEVELS**

QTY	TYPE	MANUFACTURER	DESCRIPTION
60	TYPE C	Bega Lighting	Recessed Wall - white tempered glass #33 170
lin. ft.	TYPE D	VarioLED Flex	Flex Venus/Phobos/Skylla White TV IP67
63	TYPE F	BK Lighting	Nite Star LED Floodlight with 12" power pipe stake. Model # NS-LED-E22-A9-BLP-9-11-B/PP-S-12-B (Requires remote magnetic transformer)
lin. ft.	TYPE G	ILight Technologies	Plexineon White 1X Series
17	TYPE H	Bega Lighting	Surface wall - Dual Beam



Type C - Bega Lighting Wall Inset



Type D - Tape Light



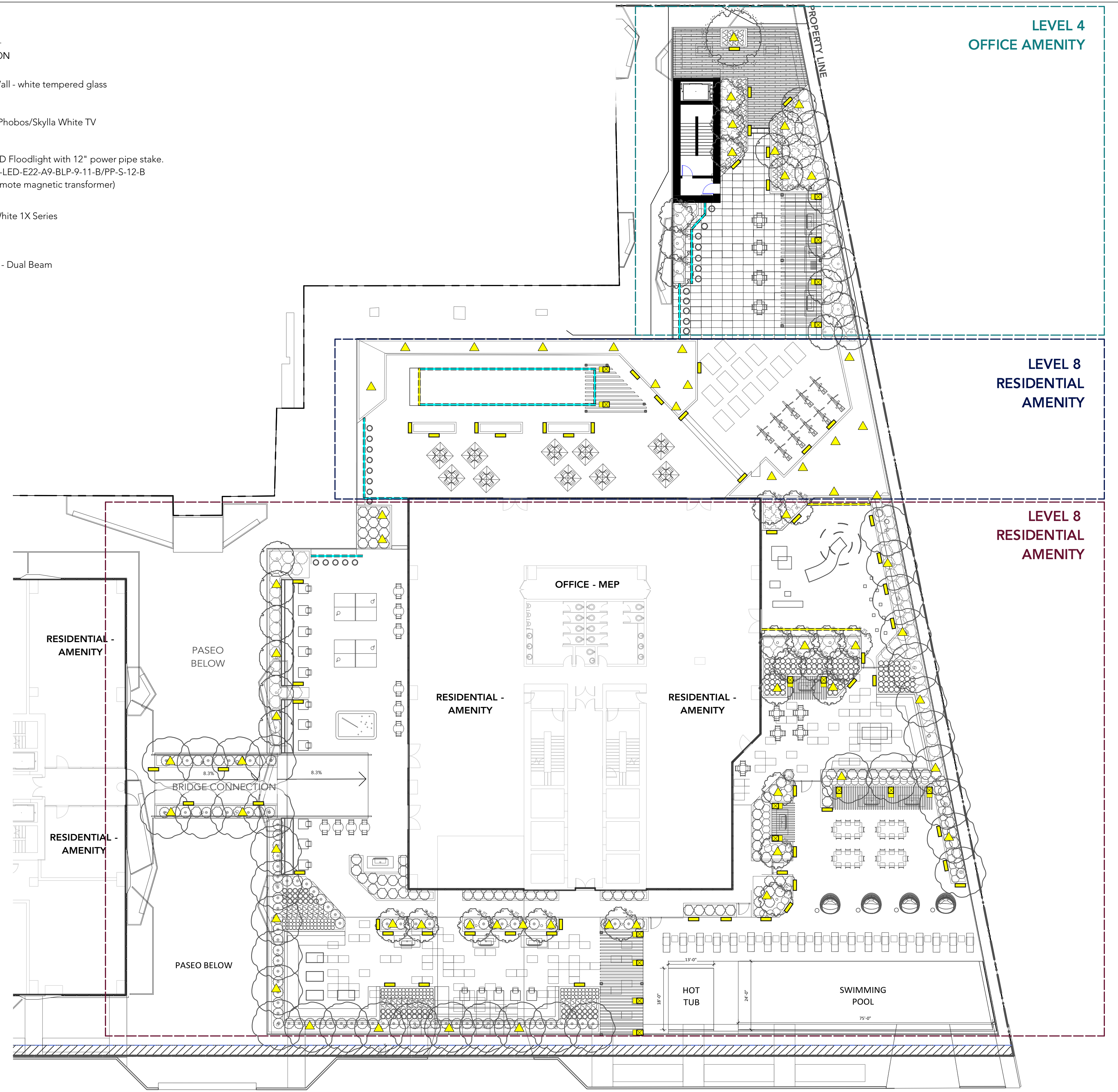
Type F-BK Nite Star Floodlight



Type G - Seat Lighting



Type H-Bega Lighting Surface Wall Dual Beam



1 LIGHTING PLAN - UPPER LEVEL AMENITIES  
Scale: 1/16" = 1'-0"

**PLANTING LIST:**

**DECIDUOUS TREES:**

Quantity	Latin Name	Common Name	Scheduled Size	Spacing	Notes
1	x Chitalpa tashkentensis 'Morning Cloud'	Morning Cloud Chitalpa	4cm cal.	As Shown	B&B Specimen
37	Lagerstroemia indica x fauriei 'Natchez'	Crapemyrtle	4cm cal.	As Shown	B&B Specimen
41	Gleditsia triacanthos inermis 'Skyline'	Skyline Honeylocust	7cm cal.	As Shown	B&B Specimen
2	Fagus sylvatica	European Beech	6cm cal.	As Shown	B&B Specimen
36	Cercis occidentalis	Western Redbud	5cm cal.	As Shown	B&B Specimen
6	Agonis flexuosa	Peppermint Tree	6cm cal.	As Shown	B&B Specimen

**SHRUBS:**

228	Westringia 'Wynyabbie Gem'	Wynyabbie Gem westringia	#2 Pot	24" o.c.	---
123	Sarcococca hookeriana var. humilis	Himalayan Sweet Box	#2 Pot	18" o.c.	
187	Pittosporum tobira 'Wheeler's Dwarf'	Wheeler's Dwarf Japanese Mock Orange	#5 Pot	36" o.c.	

**PERENNIALS, GRASSES, GROUNDCOVER:**

107	Agapanthus africanus 'Peter Pan'	Dwarf Lily Of The Nile	5 Gal	12" o.c.
52	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	#1 pot	12" o.c.
383	Heuchera 'Opal'	Opal Coral Bells	#1 Pot	18" o.c.
72	Lomandra hystrix 'Tropicbelle'	Mat Rush	#2 pot	24" o.c.
91	Polystichum munitum	Western sword fern	#2 Pot	24" o.c.
275	Rhoeo spathacea 'Tricolor'	Oyster plant	#1 Pot	24" o.c.
51	Salvia leucantha	Mexican Bush Sage	#2 Pot	18" o.c.
141	Verbena lilacina 'De La Mina'	De La Mina Verbena	#2 Pot	24" o.c.

**NOTES:**

1. ALL PLANT MATERIAL AND LANDSCAPING PRACTICES SHALL BE COMPLIANT WITH THE LATEST ANSI'S NURSERY STANDARDS
2. IN CASE OF DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL
3. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION AND SPACING TO BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION
4. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD
5. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY STANDARDS, INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.
6. NEW TREE MUST BE OF GOOD STANDARD, MINIMUM 4 CM CALLIPER AND INSTALLED WITH APPROVED ROOT BARRIERS, TREE GUARDS AND APPROPRIATE SOIL.
7. ROOT BARRIERS SHALL BE 8FT LONG AND 18 INCHES DEEP. PLANTING DEPTH PF ROOT BALL MUST BE BELOW SIDEWALK GRADE. NEW STREET TREES TO BE CONFIRMED PRIOR TO ISSUANCE OF THE BUILDING PERMIT.

**TREES**



Morning Cloud Chitalpa x Chitalpa tashkentensis 'Morning Cloud'



Crepemyrtle Lagerstroemia indica x fauriei 'Natches'



Skyline Honeylocust Gleditsia triacanthos



European Beech Fagus sylvatica



Western Redbud Cercis occidentalis



Peppermint Tree Agonis flexuosa

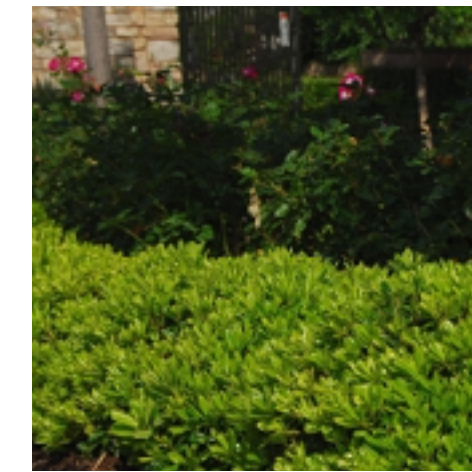
**SHRUBS + HEDGES**



Wynyabbie Gem Westringia Westringia 'Wynyabbie Gem'



Himalayan Sweet Box Sarcococca hookeriana var. humilis



Wheeler's Dwarf Japanese Mock Orange Pittosporum tobira 'Wheeler's Dwarf'

**PERENNIALS + GRASSES**



Dwarf Lily Of The Nile Agapanthus africanus 'Peter Pan'



Blue Fescue Festuca glauca



Opal Coral Bells Heuchera 'Opal'



Mat Rush Lomandra hystrix 'Tropicbelle'



Mexican Bush Sage Salvia leucantha



De La Mina Verbena Verbena lilacina 'De La Mina'

**GROUNDCOVERS + FERNS**



Western Sword Fern Polystichum munitum



Oyster Plant Rhoeo spathacea 'Tricolor'



ART WALLS



DIGITAL MEDIA BOARDS



PATIO / MOVABLE SEATING



VERTICAL GREEN WALL + TABLES AND SEATING



CUSTOM METAL PLANTERS WITH INTEGRATED SEATING



COLORED SCATTERED PAVING



GATHERING SPACE WITH OVERHEAD LIGHTING



ARTIST SPACES AND COMMUNITY GATHERING



POOL DECK AREA



OUTDOOR GAMES AREA



LOUNGE / BBQ + EATING AREA



LOUNGE / FIRE PIT / SOCIAL AREAS



CHILD PLAY AREA



FITNESS / YOGA DECK



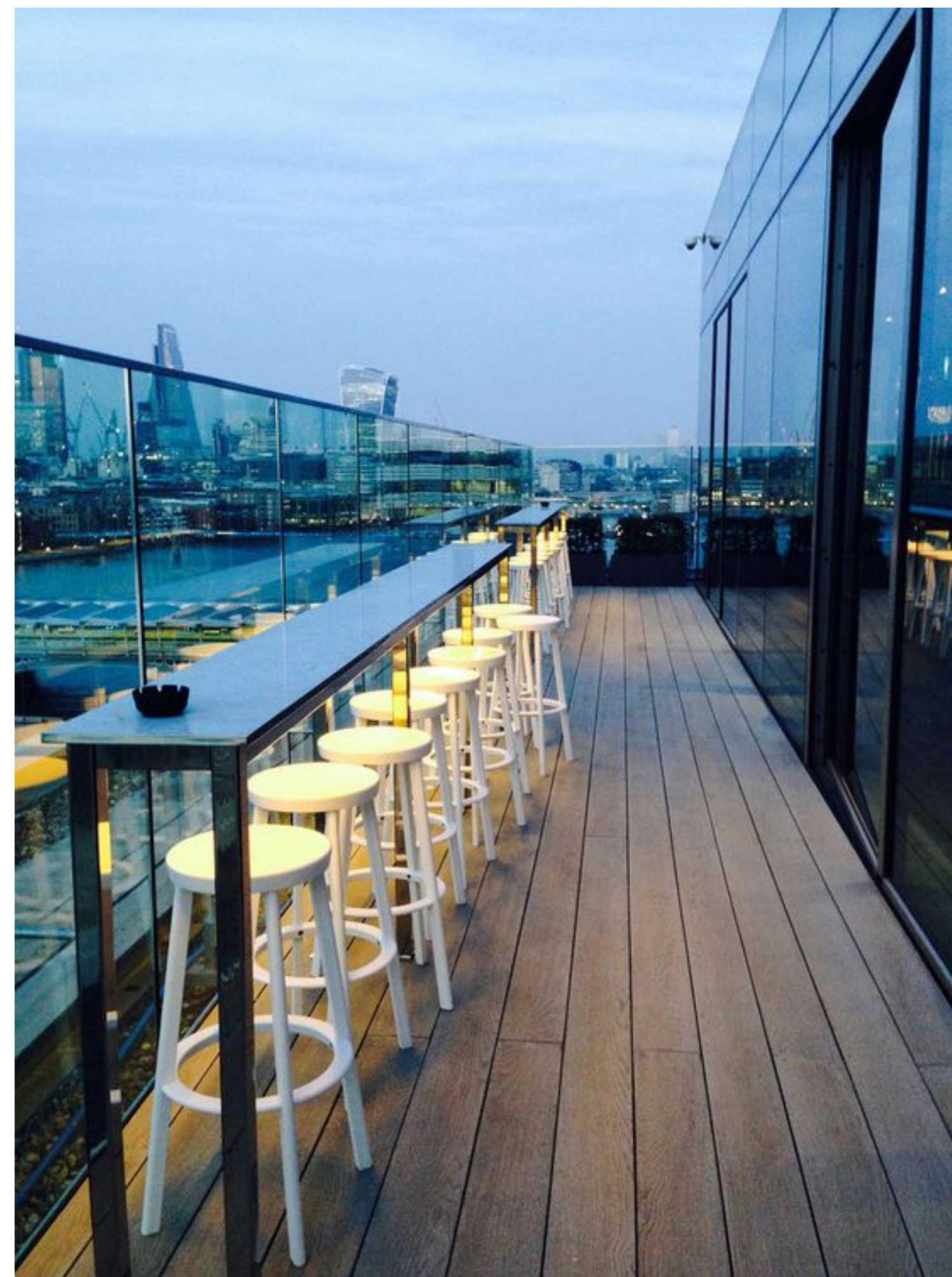
FIRE PITS AND LOUNGING



EVENT / SOCIAL SPACE + COVERED OUTDOOR KITCHEN



BOCCE PITCH



VIEWING BAR + STOOLS



EATING + SOCIAL AREA + EVENT SPACE